



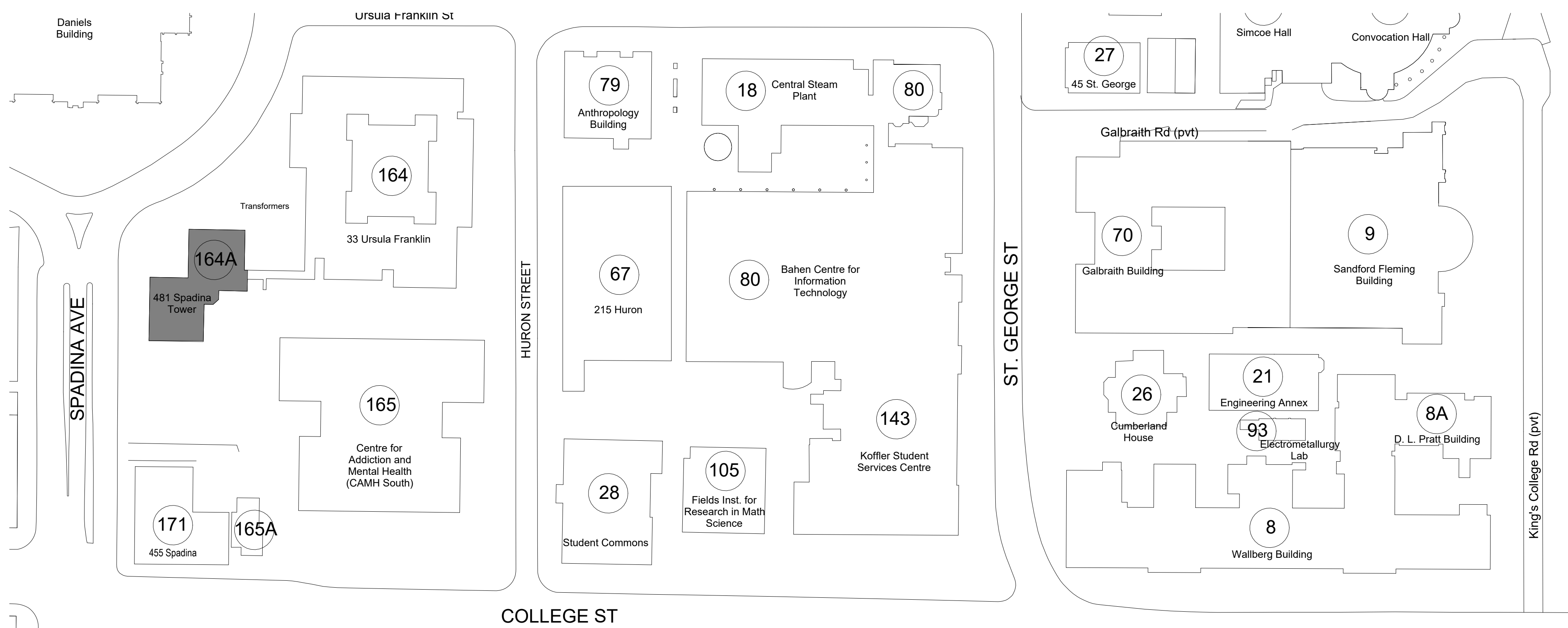
## Tower FOI Relocation

**481 Spadina Ave**  
**P164-25-078**

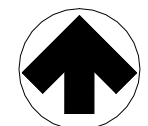
**ISSUED FOR ADDENDUM 2**  
**2026-02-06**

### BUILDING STATISTICS

## SHEET LIST



1  
A000 1:1000



## CONTEXT PLAN

### AREA OF WORK PLANS

## PROJECT TEAM

Architect:  
U OF T Design & Engineering

Structural Engineer:  
N/A

Mechanical Engineer:  
U OF T Design & Engineering

Electrical Engineer:  
U OF T Design & Engineering

Civil Engineer:  
N/A

SEAN

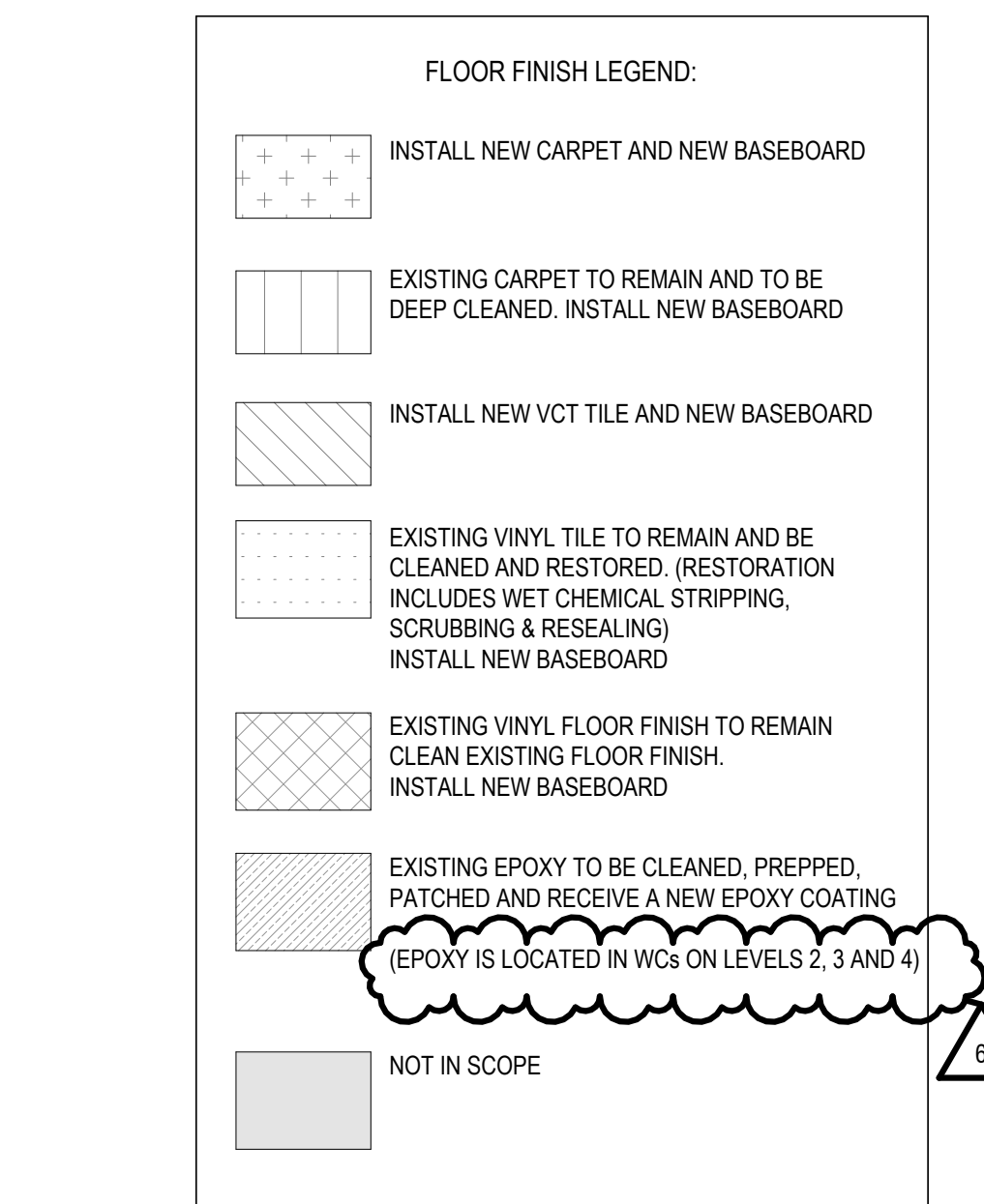
DRAWING NUMBER

# A000

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1. NEW TRANSITION STRIP.  
2. PROVIDE NEW VINYL BASE AROUND EXISTING RECEPTION DESK.  
3. EXISTING CERAMIC TILE FLOOR TO REMAIN AND BE CLEANED.  
4. PROVIDE NEW VINYL BASE AROUND ENTIRE GYM/GARAGE AND EXISTING GYM FLOOR.  
5. TYPICAL EXISTING GYM/FLOOR ACCESS PANEL SERVICES BELOW ARE ABANDONED. SECURE COVER PANEL. WHERE EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW CARPET TYPICAL. PROVIDE GALVANIZED WIRE MESH PLATE TO ENGL WITH FLOOR AS REQUIRED. INSTALLATION OF LEVELING METHOD WILL ALLOW ACCESS TO EXISTING COVER PLATE FASTENERS. GO TO COVERED WIRE MESH PLATE MEASUREMENTS AND SPECIFICATIONS BEFORE INSTALLATION. GO TO IDENTIFY AND SHOW LOCATIONS OF ALL EXISTING FLOOR ACCESS PANELS ON ALL-SITE DRAWINGS.










LEGEND - FIRE SEPARATIONS:

60min FIRE SEPARATION





FLOOR FINISH LEGEND:	
	INSTALL NEW CARPET AND NEW BASEBOARD
	EXISTING CARPET TO REMOVE AND TO BE DEEP CLEANED. INSTALL NEW BASEBOARD
	INSTALL NEW VCT TILE AND NEW BASEBOARD
	EXISTING VINYL TILE TO REMOVE AND BE CLEANED AND RESTORED (RESTORATION INCLUDES WET CHEMICAL, STRIPPING, SCOURING & RESEALING) INSTALL NEW BASEBOARD
	EXISTING VINYL FLOOR FINISH TO REMOVE CLEAN EXISTING FLOOR FINISH INSTALL NEW BASEBOARD
	EXISTING EPOXY TO BE CLEANED, PREPPED, PATCHED AND RECEIVE A NEW EPOXY COATING EPOXY IS LOCATED IN WCK ON LEVELS 2, 3 AND 4
	NOT IN SCOPE

6	1	NEW TRANSITION STRIP
	2	PROVIDE NEW W/MT. BASE FOR EXISTING GWP WALLS
	3	TYPICAL EXISTING FLOOR ACCESS PANEL. SERVICES BELOW ARE ABANDONED. SECURE COVER PLATE. WHERE EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW CARPET FINISH. PROVIDE GALVANIZED WIPED METAL PLATE TO LEVEL WITH FLOOR AS REQUIRED. INSTALLATION OF LEVELING METHOD WILL ALLOW ACCESS TO EXISTING COVER PLATE FASTENERS. GC TO CONFIRM LEVELING METHOD AT FLOOR ACCESS PANELS BEFORE INSTALLATION. GC TO IDENTIFY AND SHOW LOCATIONS OF ALL EXISTING FLOOR ACCESS PANELS ON AS-BUILT DRAWINGS.

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave

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DRAWING SHEET TITLE

**LEVEL 3 FLOOR FINISH  
PLAN**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

DRAWING NUMBER	REV. NUMBER
<b>A023</b>	<b>6</b>

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1 LEVEL 4 NEW KEY PLAN FLOORING  
A024 1:50

FLOORING NOTES:  
1. REFER TO DSSR FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES. REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.  
2. WHERE AN EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW CARPET FINISH PROVIDE GALVANIZED WIPED METAL PLATE TO LEVEL AS REQUIRED. INSTALLATION OF LEVELING METHOD WILL ALLOW ACCESS TO EXISTING COVER PLATE FASTENERS. GC TO CONFIRM LEVELING METHOD AT FLOOR ACCESS PANELS BEFORE INSTALLATION.  
3. PROVIDE NEW TRANSITION STRIP AT ALL CARPET TO VINYL FLOORING TRANSITIONS.

FLOOR FINISH LEGEND:  
INSTALL NEW CARPET AND NEW BASEBOARD  
EXISTING CARPET TO REMAIN AND TO BE DEEP CLEANED. INSTALL NEW BASEBOARD  
INSTALL NEW VCT TILE AND NEW BASEBOARD  
EXISTING VINYL TILE TO REMAIN AND BE CLEANED AND RESTORED. (RESTORATION INCLUDES WET CHEMICAL STRIPPING, SCRUBBING & RESEALING) INSTALL NEW BASEBOARD  
EXISTING VINYL FLOOR FINISH TO REMAIN CLEAN EXISTING FLOOR FINISH. INSTALL NEW BASEBOARD  
EXISTING EPOXY TO BE CLEANED, PREPPED, PATCHED AND RECEIVE A NEW EPOXY COATING (EPOXY IS LOCATED IN WGS ON LEVELS 2, 3 AND 4)  
NOT IN SCOPE

CONSTRUCTION NOTES	
No.	DESCRIPTION
A024	
1	NEW TRANSITION STRIP
2	RECALL NEW CARPET OVER EXISTING VINYL FLOOR FINISH
3	PROVIDE NEW VINYL BASE FOR EXISTING GWB WALLS AND GWB GUARD
4	TYPICAL EXISTING FLOOR ACCESS PANEL. SERVICES BELOW ARE ABANDONED. SECURE COVER PLATE. WHERE EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW CARPET FINISH PROVIDE GALVANIZED WIPED METAL PLATE TO LEVEL WITH FLOOR AS REQUIRED. INSTALLATION OF LEVELING METHOD WILL ALLOW ACCESS TO EXISTING COVER PLATE FASTENERS. GC TO CONFIRM LEVELING METHOD AT FLOOR ACCESS PANELS BEFORE INSTALLATION. GC TO IDENTIFY AND SHOW LOCATIONS OF ALL EXISTING FLOOR ACCESS PANELS ON AS-BUILT DRAWINGS.

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

6	ISSUED FOR ADDENDUM 2	2026-02-06
5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 4 FLOOR FINISH PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A024**  
REV. NUMBER  
**6**



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1 LEVEL 7 NEW KEY PLAN FLOORING  
A027 1:50

FLOORING NOTES:  
1. REFER TO DSSR FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES. REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.  
2. CARPET IS BEING REMOVED. CAREFULLY REMOVE CARPET. LEAVE EXISTING VINYL TILE IF FOUND BELOW CARPET. PATCH ANY VOIDS WITH VCT OR LEVELING COMPOUND AS REQUIRED.  
3. WHERE AN EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW CARPET FINISH PROVIDE GALVANIZED WIPED METAL PLATE TO LEVEL AS REQUIRED. INSTALLATION OF LEVELING METHOD WILL ALLOW ACCESS TO EXISTING COVER PLATE FASTENERS. GO TO CONFINED LEVELING METHOD AT FLOOR ACCESS PANELS BEFORE INSTALLATION.  
4. PROVIDE NEW TRANSITION STRIP AT ALL CARPET TO VINYL FLOORING TRANSITIONS.

FLOOR FINISH LEGEND:  
INSTALL NEW CARPET AND NEW BASEBOARD  
EXISTING CARPET TO REMAIN AND TO BE DEEP CLEANED. INSTALL NEW BASEBOARD  
INSTALL NEW VCT TILE AND NEW BASEBOARD  
EXISTING VINYL TILE TO REMAIN AND BE CLEANED AND RESTORED. (RESTORATION INCLUDES WET CHEMICAL STRIPPING, SCRUBBING & RESEALING) INSTALL NEW BASEBOARD  
EXISTING VINYL FLOOR FINISH TO REMAIN CLEAN EXISTING FLOOR FINISH. INSTALL NEW BASEBOARD  
EXISTING EPOXY TO BE CLEANED, PREPARED, PATCHED AND RECEIVE A NEW EPOXY COATING (EPOXY IS LOCATED IN WIG ON LEVELS 2, 3 AND 4)  
NOT IN SCOPE

CONSTRUCTION NOTES	
No.	DESCRIPTION
A027	PROVIDE NEW VINYL BASE FOR EXISTING GNB WALLS.

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

6	ISSUED FOR ADDENDUM 2	2026-02-06
5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23

REV.	DESCRIPTION	DATE
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KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 7 FLOOR FINISH PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A027**  
REV. NUMBER  
**6**



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- PAINTING NOTES:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (ISSUE).
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  3. REMOVE AND DISPOSE OF ALL EXISTING WALLPAPER, EXCEPT FOR LEVEL 3 AND 4 CORRIDOR AS NOTED ON PLANS. PATCH WHERE NECESSARY AND PAINT WITH SELECTED COLOUR.
  4. REMOVE AND DISPOSE OF ALL EXISTING SHELVE TRACKS INSTALLED IN OFFICES AND CORRIDORS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  5. REMOVE AND DISPOSE OF ALL PROJECTOR SCREENS, BULLETIN, CORK OR CHALK BOARDS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  6. PAINT ALL WASHROOM WALLS WITH SELECTED COLOUR.
  7. PAINT ALL WASHROOM PARTITIONS WITH SELECTED COLOUR.
  8. PAINT EXISTING DOOR FRAMES, INCLUDING TRANSOM FRAMES WHERE APPLICABLE.
  9. PAINT ALL DOORS, UNLESS NOTED OTHERWISE ON PLANS. DO NOT PAINT ANY FIRE LABELS OR SIGNAGE ON DOORS AND FRAMES.
  11. PAINT ALL ELEVATOR DOORS AND FRAMES WITH SELECTED COLOUR: BENJAMIN MOORE-ALKYD URETHANE ENAMEL-GLOSS BLACK BERRY-2119-20.
  12. DO NOT PAINT EXISTING EXPOSED BRICK.
  13. PAINT FRAMES OF INTERIOR SCREENS UNLESS NOTED OTHERWISE ON PLANS.
  14. PAINT ALL GWB CEILINGS AND BULKHEADS.
  15. DO NOT PAINT EXISTING SUSPENDED IN-AD CEILING TILES.
  16. DO NOT PAINT CEILINGS WITH EXISTING 300mm x 300mm ADHERED CEILING TILES.
  17. CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  18. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & A.V. ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  20. CONTRACTOR TO COVER AND PROTECT ALL SURFACES/FLOORING DURING THE WORK.
  21. SEE GENERAL NOTES ON DRAWING A001.
  22. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.
  23. SELECTED COLOUR FOR ALL WALLS, DOORS AND FRAMES: BENJAMIN MOORE, OXFORD WHITE CC30, 100% LATEX, EGGSHELL.

PAINTING LEGEND:

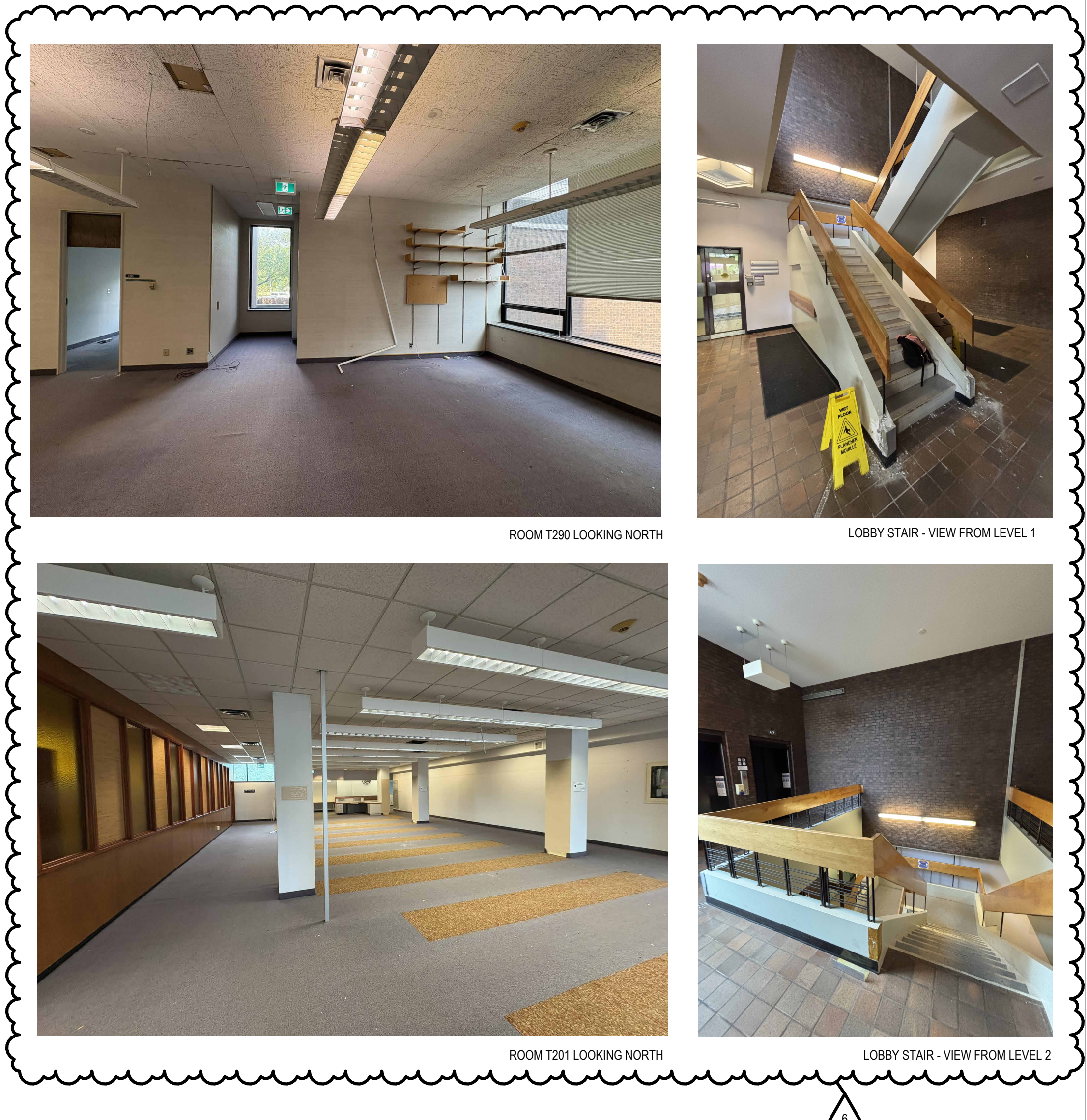
	NEW PAINT
	NOT IN SCOPE

CONSTRUCTION NOTES

No.	DESCRIPTION
A032	
1	PAINT EXISTING INTERIOR WINDOW FRAMES, BOTH SIDES. PAINT COLOUR TO MATCH ADJACENT WALLS.
2	PAINT EXISTING BULKHEAD ABOVE. PAINT COLOUR TO MATCH WALLS.
3	IN EXISTING ELEVATOR LOBBYS PAINT ALL GWB WALLS AND CEILINGS. DO NOT PAINT EXISTING EXPOSED BRICK.
4	PAINT EXISTING ELEVATOR DOORS AND FRAMES.
5	PAINT EXISTING WOOD VENEER WALL FINISH. PAINT COLOUR TO MATCH ADJACENT WALLS.
6	PAINT EXISTING GWB PORTION OF STAIR QUADRANT. DO NOT PAINT SIDE PANEL WITH FIRE PULL STATION, TYP.
7	DO NOT PAINT EXIT STAIRWELL DOORS OR FRAMES.
8	DO NOT PAINT THIS DOOR.
9	DO NOT PAINT CORRIDOR SIDE OF THIS DOOR. PAINT WC SIDE OF DOOR. COLOUR TO MATCH ADJACENT WALLS.
10	DO NOT PAINT CORRIDOR SIDE OF THIS DOOR. PAINT WC SIDE OF DOOR. COLOUR TO MATCH ADJACENT WALLS.
11	PAINT EXISTING LOBBY DOORS AND FRAMES, INCLUDING TRANSOM FRAME. (DO NOT PAINT DOOR HARDWARE, DOOR CLOSER AND KICKPLATES).
12	PAINT EXISTING METAL FRAME AT WALL OPENING. PAINT COLOUR TO MATCH ELEVATOR DOORS.
13	PAINT EXISTING DOOR AND FRAME.
15	PAINT EXISTING GWB PORTION OF STAIR QUADRANT. PAINT DOWN TO 1ST. FFL TO FFL +400mm. TYPICAL GWB PORTION OF GUARD IS +380mm HIGH.

LEGEND - FIRE SEPARATIONS:

	60min FIRE SEPARATION
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University of Toronto  
UNIVERSITY PLANNING,  
DESIGN & CONSTRUCTION

Design & Engineering

255 McCaul Street, 4th Floor, Toronto, Ontario M5T 1W7

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6	ISSUED FOR ADDENDUM 2	2026-02-06
5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&L REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BB	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 2 PAINTING PLAN**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/22
UNIVERSITY PROJECT NUMBER: NORTH POINT	
P164-25-078	

DRAWING NUMBER <b>A032</b>	REV. NUMBER <b>6</b>
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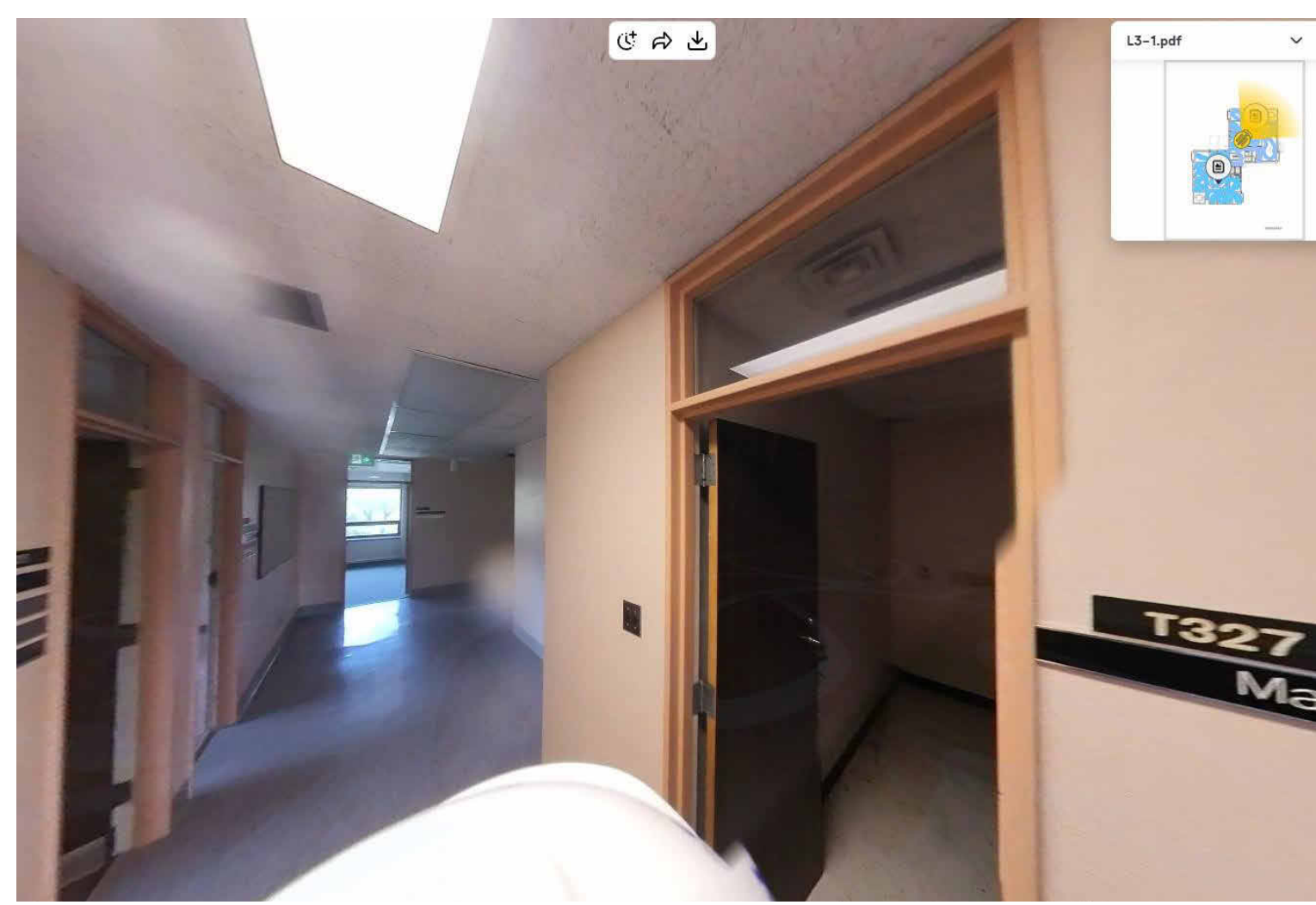
- PAINTING NOTES:
- REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (ASB).
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - REMOVE AND DISPOSE OF ALL EXISTING WALLPAPER, EXCEPT FOR LEVEL 3 AND 4 CORRIDOR AS NOTED ON PLANS. PATCH WHERE NECESSARY AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES AND CORRIDORS. REMOVE ALL ANCHORING PLUGS, PATCH AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL PROJECTOR SCREENS, BULLETIN, CORK OR CHALK BOARDS. REMOVE ALL ANCHORING PLUGS, PATCH AND PAINT WITH SELECTED COLOUR.
  - PAINT ALL WASHROOM WALLS WITH SELECTED COLOUR.
  - PAINT ALL WASHROOM PARTITIONS WITH SELECTED COLOUR.
  - PAINT EXISTING DOOR FRAMES, INCLUDING TRANSOM FRAMES WHERE APPLICABLE.
  - PAINT ALL DOORS, UNLESS NOTED OTHERWISE ON PLANS. DO NOT PAINT ANY FIRE LABELS OR SIGNAGE ON DOORS AND FRAMES.
  - PAINT ALL ELEVATOR DOORS AND FRAMES WITH SELECTED COLOUR. BENJAMIN MOORE - ALKYO URETHANE ENAMEL GLOSS BLACK BERRY 219-20.
  - DO NOT PAINT EXISTING EXPOSED BRICK.
  - PAINT FRAMES OF INTERIOR SCREENS UNLESS NOTED OTHERWISE ON PLANS.
  - PAINT ALL GWB CEILINGS AND BULKHEADS.
  - DO NOT PAINT EXISTING SUSPENDED IN-AD CEILING TILES.
  - DO NOT PAINT CEILINGS WITH EXISTING 300mm x 300mm ADHERED CEILING TILES.
  - CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO COVER AND PROTECT ALL SURFACES/FLOORING DURING THE WORK.
  - SEE GENERAL NOTES ON DRAWING A01.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.
  - SELECTED COLOUR FOR ALL WALLS, DOORS AND FRAMES: BENJAMIN MOORE, OXFORD WHITE CC30, 100% LATEX, EGGSHELL.

- PAINTING LEGEND:
- NEW PAINT
  - NOT IN SCOPE

- CONSTRUCTION NOTES
- | No.  | DESCRIPTION   |
|------|---|
| A033 |   |
| 1    | IN EXISTING ELEVATOR LOBBIES PAINT ALL GWB WALLS AND CEILINGS. DO NOT PAINT EXISTING EXPOSED BRICK.                             |
| 2    | PAINT EXISTING ELEVATOR DOORS AND FRAMES.   |
| 3    | PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS.   |
| 4    | PAINT EXISTING LOBBY DOORS AND FRAMES, INCLUDING TRANSOM FRAME. (DO NOT PAINT DOOR HARDWARE, DOOR CLOSER AND KICKPLATES).       |
| 5    | PAINT OVER EXISTING WALL COVERING IN CORRIDORS ONLY. RETAIN ALL ROOM NUMBER SIGNAGE. REMOVE NAME SIGNAGE LOCATED BELOW.         |
| 6    | PAINT EXISTING GWB PORTION OF STAIR GUARDRAIL.  |
| 7    | DO NOT PAINT EXISTING METAL GUARDRAIL.  |
| 8    | DO NOT PAINT SIDE PANEL WITH FIRE FULL STATION, TYP.  |
| 10   | PAINT ENTIRE GWB PORTION OF STAIR GUARD RAIL FROM 4TH TO 3RD. PFL TO PFL, 3850mm. TYPICAL. GWB PORTION OF GUARD IS 3850mm HIGH. |

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

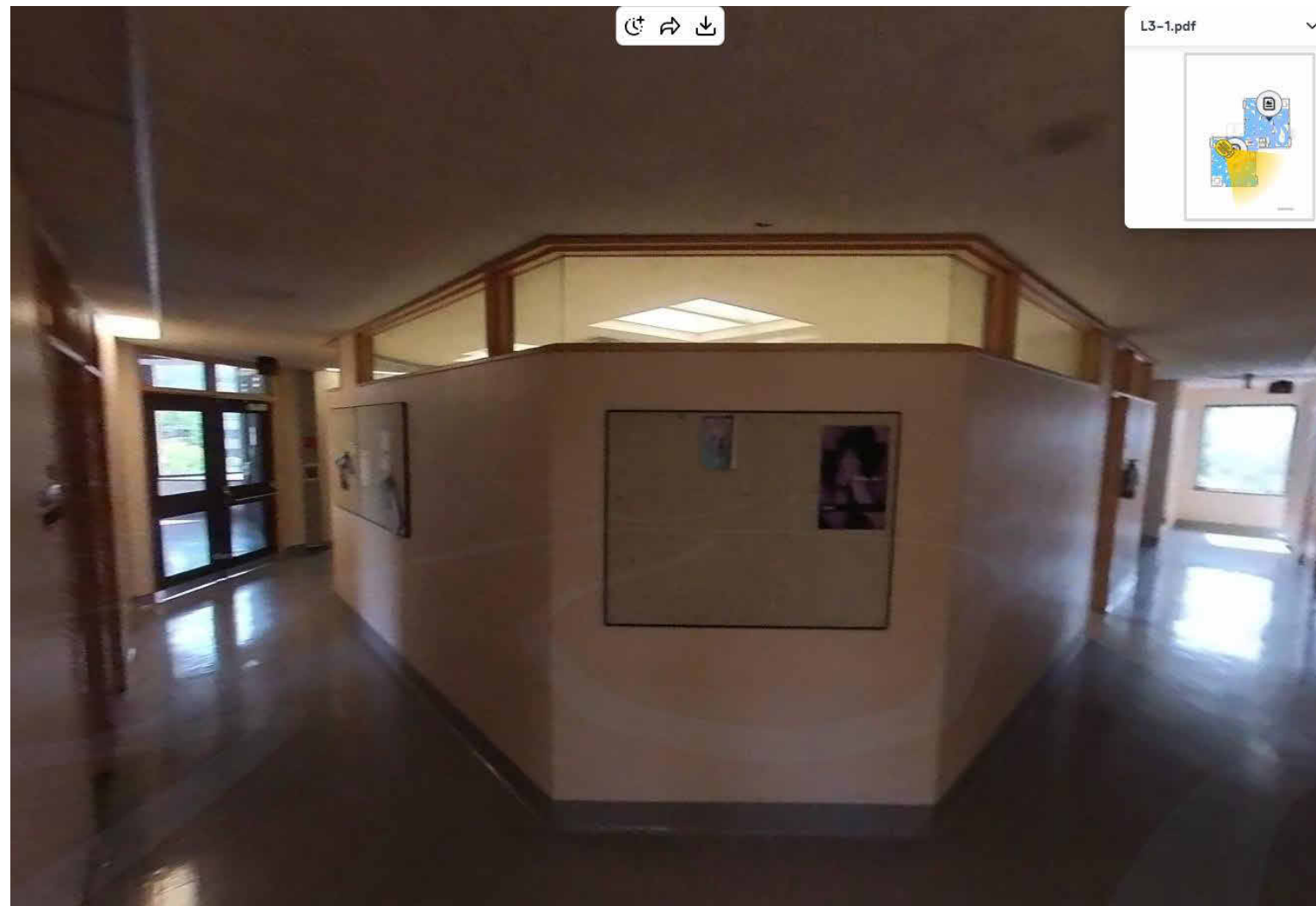
1 LEVEL 3 NEW KEY PLAN PAINTING  
A033 1:50



CORRIDOR T390 LOOKING NORTH



LOBBY STAIR - VIEW FROM LEVEL 3



CORRIDOR T384 LOOKING SOUTHEAST



LOBBY STAIR - VIEW FROM LEVEL 4

ISSUED FOR ADDENDUM 2	2026-02-06
ISSUED FOR TENDER	2026-01-21
ISSUED FOR P&L REVIEW	2026-01-16
ISSUED FOR DD	2025-11-07
ISSUED FOR CLIENT REVIEW	2025-10-31
ISSUED FOR 100% BB	2025-09-23
REV. DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 3 PAINTING PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
P164-25-078

DRAWING NUMBER  
**A033**  
REV. NUMBER  
**6**



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1 LEVEL 4 NEW KEY PLAN PAINTING  
A034 1:50

- PAINTING NOTES:
- MATERIALS SURVEY REPORT (ASB)
- REFER TO DESIGNATED SUBSTANCES IN BUILDING.
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - REMOVE AND DISPOSE OF ALL EXISTING WALLPAPER, EXCEPT FOR LEVEL 3 AND 4 CORRIDOR AS NOTED ON PLANS. PATCH WHERE NECESSARY AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES AND CORRIDORS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL PROJECTOR SCREENS, BULLETIN, CORK OR CHALK BOARDS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  - PANT ALL WASHROOM WALLS WITH SELECTED COLOUR.
  - PANT ALL WASHROOM PARTITIONS WITH SELECTED COLOUR.
  - PANT EXISTING DOOR FRAMES, INCLUDING TRANSOM FRAMES WHERE APPLICABLE.
  - PANT ALL DOORS, UNLESS NOTED OTHERWISE ON PLANS.
  - DO NOT PAINT ANY FIRE LABELS OR SIGNAGE, ON DOORS AND FRAMES.
  - PANT ALL ELEVATOR DOORS AND FRAMES WITH SELECTED COLOUR. BENJAMIN MOORE - ALKYO URETHANE ENAMEL GLOSS BLACK BERRY 2119-20.
  - DO NOT PAINT EXISTING EXPOSED BRICK.
  - PANT FRAMES OF INTERIOR SCREENS UNLESS NOTED OTHERWISE ON PLANS.
  - PANT ALL GWB CEILINGS AND BULKHEADS.
  - DO NOT PAINT EXISTING SUSPENDED IN-LAD CEILING TILES.
  - DO NOT PAINT CEILING WITH EXISTING 300mm x 300mm ADHERED CEILING TILES.
  - CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - PIPES, FIRE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO COVER AND PROTECT ALL SURFACES/FLOORING DURING THE WORK.
  - SEE GENERAL NOTES ON DRAWING A001.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.
  - SELECTED COLOUR FOR ALL WALLS, DOORS AND FRAMES: BENJAMIN MOORE, OXFORD WHITE CC30, 100% LATEX, EGGSHELL.

PAINTING LEGEND:

	NEW PAINT
	NOT IN SCOPE

CONSTRUCTION NOTES

No.	DESCRIPTION
A034	
1	IN EXISTING ELEVATOR LOBBIES PAINT ALL GWB WALLS AND CEILINGS. DO NOT PAINT EXISTING EXPOSED BRICK.
2	PAINT EXISTING ELEVATOR DOORS AND FRAMES.
3	PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS.
4	PAINT EXISTING LOBBY DOORS AND FRAMES, INCLUDING TRANSOM FRAME. (DO NOT PAINT DOOR HARDWARE, DOOR CLOSER AND KICKPLATES).
5	PAINT OVER EXISTING WALL COVERING IN CORRIDORS ONLY. RETAIN ALL ROOM NUMBER SIGNAGE. REMOVE NAME SIGNAGE LOCATED BELOW.
6	PAINT EXISTING GWB PORTION OF STAIR GUARDRAIL.
7	DO NOT PAINT SIDE PANEL WITH FIRE PULL STATION, TYP.
8	PAINT EXISTING GWB PORTION OF STAIR GUARDRAIL FROM 1ST TO 3RD, FFL TO FFL ±3650mm. TYPICAL GWB PORTION OF GUARDRAIL IS ±800mm HIGH.
9	PAINT EXISTING GWB PORTION OF STAIR GUARDRAIL FROM 1ST TO 3RD, FFL TO FFL ±3650mm. TYPICAL GWB PORTION OF GUARDRAIL IS ±800mm HIGH.
10	PAINT EXISTING GWB PORTION OF STAIR GUARDRAIL FROM 1ST TO 3RD, FFL TO FFL ±3650mm. TYPICAL GWB PORTION OF GUARDRAIL IS ±800mm HIGH.

LEGEND - FIRE SEPARATIONS:

	60min FIRE SEPARATION
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This drawing is the property of the University of Toronto, and must be returned upon completion of the work. All information shown on this drawing is for use on this specific project. Contractor must verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

6	ISSUED FOR ADDENDUM 2	2026-02-06
5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&C REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 4 PAINTING PLAN**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/22
UNIVERSITY PROJECT NUMBER: NORTH POINT	

P164-25-078

DRAWING NUMBER <b>A034</b>	REV. NUMBER <b>6</b>
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- PAINTING NOTES:
- MATERIALS SURVEY REPORT (ISSUE)**
- REFER TO DESIGNATED SUBSTANCES IN BUILDING.
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - REMOVE AND DISPOSE OF ALL EXISTING WALLPAPER, EXCEPT FOR LEVEL 3 AND 4 CORRIDOR AS NOTED ON PLANS. PATCH WHERE NECESSARY AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES AND CORRIDORS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL PROJECTOR SCREENS, BULLETIN, CORK OR CHALK BOARDS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  - PANT ALL WASHROOM WALLS WITH SELECTED COLOUR.
  - PANT ALL WASHROOM PARTITIONS WITH SELECTED COLOUR.
  - PANT EXISTING DOOR FRAMES, INCLUDING TRANSOM FRAMES WHERE APPLICABLE.
  - PANT ALL DOORS, UNLESS NOTED OTHERWISE ON PLANS.
  - DO NOT PAINT ANY FIRE LABELS OR SIGNAGE ON DOORS AND FRAMES.
  - PANT ALL ELEVATOR DOORS AND FRAMES WITH SELECTED COLOUR: BENJAMIN MOORE - ALKID URETHANE ENAMEL-GLOSS-BLACK BERRY 2119-20.
  - DO NOT PAINT EXISTING EXPOSED BRICK.
  - PANT FRAMES OF INTERIOR SCREENS UNLESS NOTED OTHERWISE ON PLANS.
  - PANT ALL GNB CEILINGS AND BULKHEADS.
  - DO NOT PAINT EXISTING SUSPENDED IN-AD CEILING TILES.
  - DO NOT PAINT CEILINGS WITH EXISTING 300mm x 300mm ADHERED CEILING TILES.
  - CLEAN ALL CEILING OFFICERS AND GRILLES.
  - PIPES, FIRE SUPPORTS ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO COVER AND PROTECT ALL SURFACES/FLOORING DURING THE WORK.
  - SEE GENERAL NOTES ON DRAWING A01.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.
  - SELECTED COLOUR FOR ALL WALLS, DOORS AND FRAMES: BENJAMIN MOORE, OXFORD WHITE CC30, 100% LATEX, EGGSHELL.

PAINTING LEGEND:

	NEW PAINT
	NOT IN SCOPE

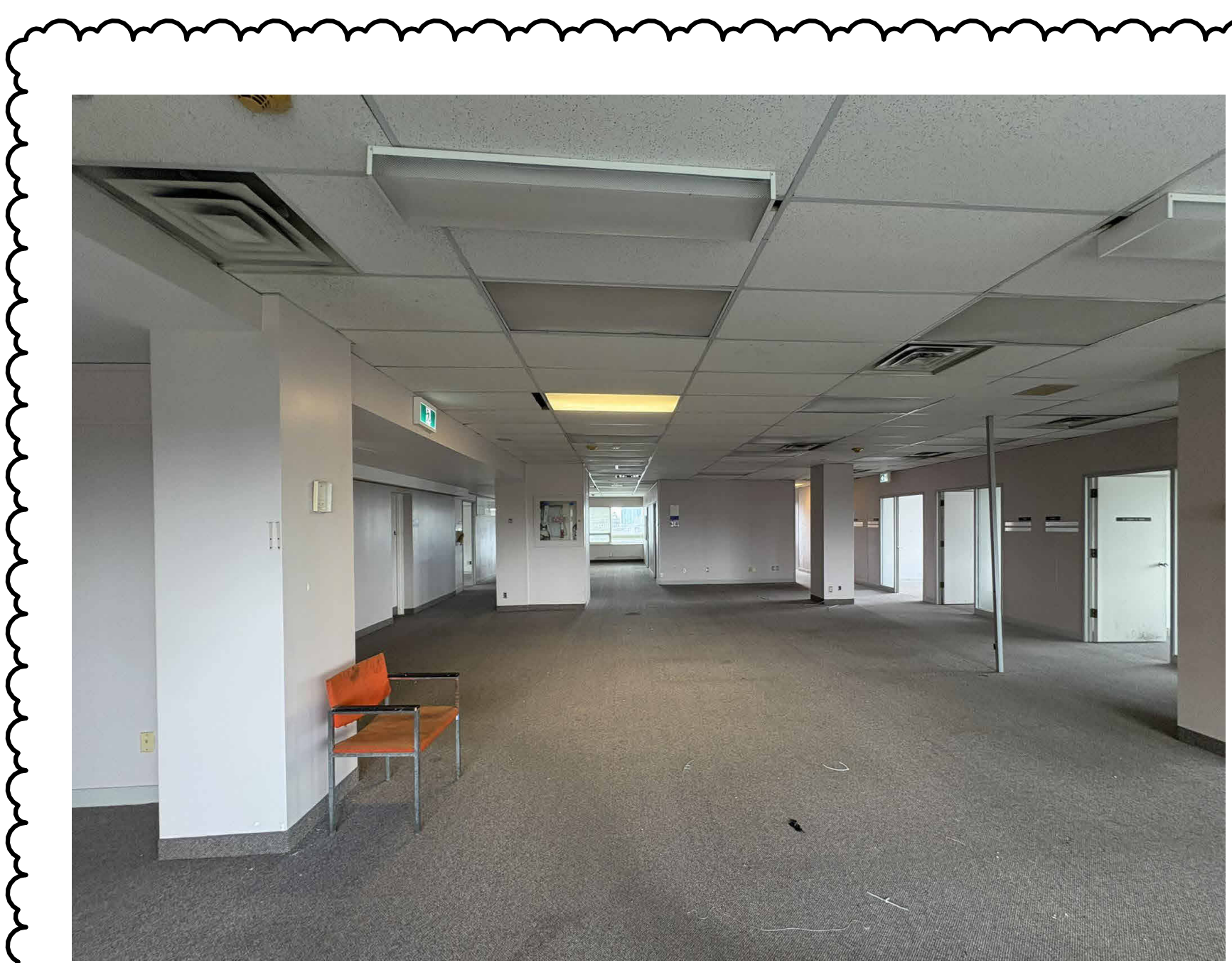
CONSTRUCTION NOTES

No.	DESCRIPTION
A037	
1	IN EXISTING ELEVATOR LOBBYS PAINT ALL GNB WALLS AND CEILINGS. DO NOT PAINT EXISTING EXPOSED BRICK.
2	PAINT EXISTING ELEVATOR DOORS AND FRAMES.
3	PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS.
4	PAINT EXISTING LOBBY DOORS AND FRAMES, INCLUDING TRANSOM FRAME. (DO NOT PAINT DOOR HARDWARE, DOOR CLOSERS AND KICKPLATES).
5	DO NOT PAINT SIEE PANEL WITH FIRE PULL STATION, TYP.
6	DO NOT PAINT EXIT STAIRWELL DOORS OR FRAMES.
7	DO NOT PAINT THIS DOOR.

LEGEND - FIRE SEPARATIONS:

	60min FIRE SEPARATION
--	-----------------------

1 LEVEL 7 NEW KEY PLAN PAINTING  
A037 1:50



SHARED OFFICE T384 LOOKING SOUTH

6	ISSUED FOR ADDENDUM 2	2026-02-06
5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2026-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BB	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 7 PAINTING PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A037**  
REV. NUMBER  
**6**



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1 LEVEL 2 DEMOLITION KEY PLAN  
A102 1:50

- GENERAL NOTES - DEMOLITION:
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  - FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  - DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE OBC.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  - REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  - REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  - REMOVE AND REINSTALL ALL EXISTING WINDOW WALL MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  - REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA, UNLESS NOTED OTHERWISE, AND MAKE GOOD WALLS AS REQUIRED TO RECEIVE NEW BASE.
  - REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE. ON FLOOR FINISH PLANS, REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH. REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

- LEGEND - DEMOLITION
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
  - EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO BE DEMOLISHED
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN (610mm x 610mm)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 610mm)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 1220mm)
  - GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
  - DOOR TO BE DEMOLISHED
  - WALLS TO BE DEMOLISHED
  - WALL TO REMAIN
  - DEMOLITION NOTES
  - Room name 101 EXISTING ROOM NAME & NUMBER
  - ± 2382 EXISTING DIMENSION (SITE VERIFY)

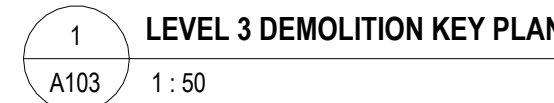
DEMOLITION NOTES	
No.	DESCRIPTION
1	REMOVE EXISTING CARPET FINISH AND WALL BASE. MAKE GOOD EXISTING AND PREP FLOOR TO RECEIVE NEW FINISH. REMOVE EXISTING WALL COVERING FROM ALL WALLS, BULKHEADS AND COLUMNS. PATCH WHERE NECESSARY AND MAKE GOOD TO ACCEPT NEW PAINT FINISH. REMOVE AND REINSTALL EXISTING WINDOW BLINDS/SHADES AS REQUIRED TO CARRY OUT WORK.
2	REMOVE EXISTING COUNTERS, UPPER, LOWER CABINETS. MAKE GOOD TO ACCEPT NEW FINISHES.
3	REMOVE EXISTING SOAP AND PAPER TOWEL DISPENSERS.
4	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK. REFER TO MECH.
5	REMOVE ALL EXISTING WINDOW COMPONENTS FROM EXISTING OPENING. MAKE GOOD TO ACCEPT NEW DOOR AND ROOM FINISHES.
6	REMOVE EXISTING CABINETS. MAKE GOOD TO ACCEPT NEW FINISHES.
7	REMOVE EXISTING DESK AND/OR MILLWORK.
8	EXISTING VINYL FLOORING TO REMAIN. REMOVE EXIST. WALL BASE. REFER TO FLOOR FINISH PLANS.
9	REMOVE EXISTING DOOR AND FRAME. MAKE GOOD TO RECEIVE NEW INFILL.
10	REMOVE EXISTING WALL MOUNTED MIRROR.
11	REMOVE ALL EXISTING WINDOW COMPONENTS FROM EXISTING OPENING. MAKE GOOD TO ACCEPT NEW INFILL.
12	REMOVE EXISTING FILM FROM GLAZING. MAKE GOOD.
13	REMOVE EXISTING SIGNAGE.
14	EXISTING COUNTERTOP, LOWER AND UPPER CABINETS TO REMAIN.
15	REMOVE OPERABLE WINDOW VENT. PREP TO INSTALL NEW WINDOW AC UNIT AND NEW INFILL. REFER TO MECH.
16	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY WARM DISPOSAL SINK) TO BE REMOVED.
17	TYPICAL EXISTING FLOOR ACCESS PANEL SERVICES BELOW ARE ABANDONED. SECURE COVER PLATE. WHERE EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW CARPET FINISH, PROVIDE GALVANIZED WIPED METAL PLATE TO LEVEL WITH FLOOR AS REQUIRED. INSTALLATION OF LEVELING METHOD WILL ALLOW ACCESS TO EXISTING COVER PLATE FASTENERS. GC TO CONFIRM LEVELING METHOD AT FLOOR ACCESS PANELS BEFORE INSTALLATION. GC TO IDENTIFY AND SHOW LOCATIONS OF ALL EXISTING FLOOR ACCESS PANELS ON AS-BUILT DRAWINGS.
18	REMOVE EXISTING CARPET BASE FROM RECEPTION DESK. PREP TO RECEIVE NEW VINYL BASE.
19	REMOVE EXISTING WALL BASE FROM GWB GUARDRAIL AND EXISTING GWB WALLS. PREP TO RECEIVE NEW VINYL BASE.
20	

DEMOLITION NOTES	
No.	DESCRIPTION
1	REMOVE EXISTING CARPET FINISH AND WALL BASE. MAKE GOOD EXISTING AND PREP FLOOR TO RECEIVE NEW FINISH. REMOVE EXISTING WALL COVERING FROM ALL WALLS, BULKHEADS AND COLUMNS. PATCH WHERE NECESSARY AND MAKE GOOD TO ACCEPT NEW PAINT FINISH. REMOVE AND REINSTALL EXISTING WINDOW BLINDS/SHADES AS REQUIRED TO CARRY OUT WORK.
2	REMOVE EXISTING COUNTERS, UPPER, LOWER CABINETS. MAKE GOOD TO ACCEPT NEW FINISHES.
3	REMOVE EXISTING SOAP AND PAPER TOWEL DISPENSERS.
4	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK. REFER TO MECH.
5	REMOVE ALL EXISTING WINDOW COMPONENTS FROM EXISTING OPENING. MAKE GOOD TO ACCEPT NEW DOOR AND ROOM FINISHES.
6	REMOVE EXISTING CABINETS. MAKE GOOD TO ACCEPT NEW FINISHES.
7	REMOVE EXISTING DESK AND/OR MILLWORK.
8	EXISTING VINYL FLOORING TO REMAIN. REMOVE EXIST. WALL BASE. REFER TO FLOOR FINISH PLANS.
9	REMOVE EXISTING DOOR AND FRAME. MAKE GOOD TO RECEIVE NEW INFILL.
10	REMOVE EXISTING WALL MOUNTED MIRROR.
11	REMOVE ALL EXISTING WINDOW COMPONENTS FROM EXISTING OPENING. MAKE GOOD TO ACCEPT NEW INFILL.
12	REMOVE EXISTING FILM FROM GLAZING. MAKE GOOD.
13	REMOVE EXISTING SIGNAGE.
14	EXISTING COUNTERTOP, LOWER AND UPPER CABINETS TO REMAIN.
15	REMOVE OPERABLE WINDOW VENT. PREP TO INSTALL NEW WINDOW AC UNIT AND NEW INFILL. REFER TO MECH.
16	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY WARM DISPOSAL SINK) TO BE REMOVED.
17	TYPICAL EXISTING FLOOR ACCESS PANEL SERVICES BELOW ARE ABANDONED. SECURE COVER PLATE. WHERE EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW CARPET FINISH, PROVIDE GALVANIZED WIPED METAL PLATE TO LEVEL WITH FLOOR AS REQUIRED. INSTALLATION OF LEVELING METHOD WILL ALLOW ACCESS TO EXISTING COVER PLATE FASTENERS. GC TO CONFIRM LEVELING METHOD AT FLOOR ACCESS PANELS BEFORE INSTALLATION. GC TO IDENTIFY AND SHOW LOCATIONS OF ALL EXISTING FLOOR ACCESS PANELS ON AS-BUILT DRAWINGS.
18	REMOVE EXISTING CARPET BASE FROM RECEPTION DESK. PREP TO RECEIVE NEW VINYL BASE.
19	REMOVE EXISTING WALL BASE FROM GWB GUARDRAIL AND EXISTING GWB WALLS. PREP TO RECEIVE NEW VINYL BASE.
20	

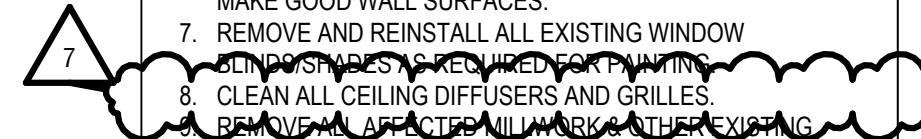
- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

KEY PLAN (NTS)	
SEAL	
PROJECT TITLE UNIVERSITY OF TORONTO <b>Tower FOI Relocation</b>	
PROJECT TITLE UNIVERSITY OF TORONTO <b>Tower FOI Relocation</b>	
DRAWING SHEET TITLE <b>LEVEL 2 DEMOLITION PLAN</b>	
DRAWN BY: RG SCALE: As indicated REVIEWED BY: EB DATE CREATED: 25/09/02 UNIVERSITY PROJECT NUMBER: NORTH POINT <b>P164-25-078</b>	
DRAWING NUMBER <b>A102</b>	
REV. NUMBER <b>7</b>	


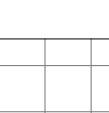

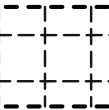
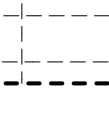



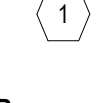
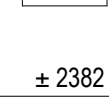





- GENERAL NOTES - DEMOLITION**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  - REFER TO THE MECHANICAL AND ELECTRICAL PROCEDURES FOR GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR THE PROTECTION OF THE REMAINING MATERIALS. REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK. REPORT TO THE HAZARDOUS MATERIALS SPECIALIST FOR ANY REMOVAL WORK. TEMPORARY HOARDING SHALL BE MAINTAINED TO PREVENT EXPOSURE TO DRYWALL, PLATE, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA.
  - REMOVE ALL MATERIALS OF THE WORK AREA, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND EGRESS TO THE BUILDING. ALL MATERIALS TO BE PLACED THEREIN PERMITTED BY THE OBC.
  - REMOVE ALL MATERIALS OF EXISTING SHELVEYS TRUCKS INSTALLED IN OFFICES.
  - REMOVE ALL PROJECTOR SCREENS AND BLOOMING PROJECTOR, CHANGELIGHTS AND ACCESSORIES. REMOVE ALL MATERIALS OF EXISTING WALLS, WALL CLIPS, STAPLES FROM EXISTING WALLS, PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  - REMOVE ALL MATERIALS, ALL EXISTING WINDOW.
  - REMOVE AND PATCH ALL EXISTING WINDOW.
  - WALL MOUNTED TYPES SUCH AS BULLETIN BOARDS, PROJECTOR, CHANGELIGHTS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  - REMOVE EXISTING WALL BASE WITHIN THE ROOMS.
  - REMOVE ALL UNDESIRABLE MATERIALS AND MAKE GOOD WALLS AS REQUIRED TO REPAIR NEW BASE.
  - REMOVE ALL MATERIALS OF EXISTING CONSTRUCTION AREA BACK TO SUBSISTANCE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL MATERIALS OF EXISTING CONSTRUCTION AREA BACK TO SUBSISTANCE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL MATERIALS OF EXISTING CONSTRUCTION AREA BACK TO SUBSISTANCE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL MATERIALS OF EXISTING CONSTRUCTION AREA BACK TO SUBSISTANCE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS.
  - REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION



- LEGEND - DEMOLITION**

	<p>EXIST. 355mm x 355mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN</p>
	<p>EXIST. 355mm x 355mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO BE DEMOLISHED</p>
	<p>EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN (610mm x 610mm)</p>
	<p>(610mm x 1220mm)</p> <p>EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 610mm)</p>
	<p>(610mm x 1220mm)</p>
	<p>GYPSTUM WALL BOARD CEILING TO BE DEMOLISHED</p>
	<p>DOOR TO BE DEMOLISHED</p>
	<p>WALLS TO BE DEMOLISHED</p>
	<p>WALL TO REMAIN</p>
	<p>DEMOLITION NOTES</p>
<p><b>Room name</b> 101</p>	<p>EXISTING ROOM NAME &amp; NUMBER</p>
	<p>EXISTING DIMENSION (SITE VERIFY)</p>

DEMOLITION NOTES	
A/103	DESCRIPTION
1	REMOVE EXISTING CARPET FINISH AND WALL BASE. MAKE GOOD EXISTING AND PATCH. REMOVE NEW FINISH.
2	REMOVE EXISTING CARPET COVERING FROM ALL WALLS, BULKHEADS AND COLLINGS. PATCH WHERE NECESSARY AND MAKE GOOD EXISTING. REMOVE EXISTING REACTIVE AND REINSTATE EXISTING WINDOW BULKHEADS/AS REQUIRED TO CARRY OUT WORK.
3	REMOVE EXISTING FOLDABLE PARTITION (CEILING TRUCK TO REMAIN).
4	REMOVE EXISTING PROJECTION SCREEN AND MOUNTING BRACKET.
5	REMOVE EXISTING DOOR AND FRAME. MAKE GOOD TO RECEIVE NEW INFILL.
6	REMOVE EXISTING DOOR AND FRAME CAREFULLY REMOVE INFILL IN PLACE TO US OF EXISTING AC CEILING.
7	CAREFULLY REMOVE EXISTING PARTITION ABOVE WINDOW SILL TO US OF EXISTING AC CEILING. REMOVE EXISTING BULKHEAD. PATCH AND REPAIR AS REQUIRED. MAKE GOOD TO RECEIVE NEW INFILL.
8	SCRAPE OFF EXISTING FLOOR AND FLOORING SURFACE. REMOVE EXISTING PLASTER AND REINSTATE EXISTING WALL PAPER FINISH (ALLOW FOR AREA 185mm WIDE & 610mm HIGH FOR NEW INFILL).
9	REMOVE EXISTING FLOOR FINISH. REMOVE EXISTING WALL FINISH. REPLY THE FLOORING TO REMAIN. REMOVE EXIST. WALL FINISH. REMOVE FLOOR FINISH PLANS.
10	ALL EXISTING BEDROOM PARTITIONS TO REMAIN.
11	REMOVE EXISTING SHELVES AND SUPPORTS. PATCH, REPAIR WALLS AND MAKE GOOD TO RECEIVE NEW PARTITION FINISH. REMOVE WALL COVERINGS IN CORRIDOR TO RE-PAINT AND RECEIVE NEW PARTITION FINISH. OUTSIDE ROOMS. RETAIN ALL ROOM NUMBER SIGNAGE. MAKE NAME SIGNAGE LOCATED BELOW.
12	REMOVE EXISTING WINDOW VENT. PREP. TO INSTALL NEW WINDOW AC UNIT AND NEW INFILL. REPAIR TO MATCH EXISTING WINDOW FRAME.
13	REMOVE EXISTING WINDOW COVERINGS, DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT. REMOVE EXISTING WINDOW DISPENSER/WASTE RECEPTACLE COMBO UNIT.
14	TYPICAL EXISTING FLOOR ACCESS PANEL SERVICES BELOW FLOOR. REMOVE FLOOR COVERING. PATCH WHERE EXISTING FLOOR ACCESS PANEL IS BEING COVERED WITH NEW FINISH. PROVIDE GALVANIZED WIPED METAL PLATE TO LEVEL WITH FLOOR. PROVIDE SCHEDULE 40 STEEL BOLTS TO SECURE METHOD WILL ALLOW ACCESS TO EXISTING COVER PANEL. REMOVE EXISTING COVER PANEL. REMOVE EXISTING FLOOR ACCESS PANELS BEFORE INSTALLATION. GC TO IDENTIFY AND SHOW LOCATIONS OF ALL EXISTING FLOOR ACCESS PANELS OF ALL TYPES.
15	REMOVE EXISTING WALL BASE FROM EXISTING GYM WALLS. PREP. TO RECEIVE NEW VINYL BASE.

- LEGEND - FIRE SEPARATIONS:

[illegible]

7	ISSUED FOR ADDENDUM 2	2026-02-06
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR F&S REVIEW	2026-01-16
4	ISSUED FOR PERMIT	2026-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% SD	2025-09-25
REV.	DESCRIPTION	DATE

**KEY PLAN (NTS)**

SEAL

PROJECT TITLE: \_\_\_\_\_

UNIVERSITY OF TORONTO

## Tower FOI Relocation

481 Spadina Ave

DRAWING SHEET TITLE

### LEVEL 3 DEMOLITION PLAN

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

P164-25-078













DRAWING NUMBER	REV. NUMBER
<b>A103</b>	<b>7</b>





- GENERAL NOTES - DEMOLITION**
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
2. THE CONTRACTOR SHALL FOLLOW ALL CITY PROCEDURES REQUIRED TO GENERAL SPECIFICATION FOR HAZARDOUS WASTE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR THE PROTECTION OF THE REMAINING MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL REMAINING WORK. TEMPORARY HOARDING SHALL BE MAINTAINED TO PROTECT EXISTING WORK FROM DRYWALL, PLATE, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND EGRESS TO ALL AREAS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORK THAT IS NOT PERMITTED BY THE O.C.
3. ALL EXISTING WORK SHALL BE PROTECTED BY SLUICING TRUCKS INSTALLED IN OFFICES.
5. REMOVE ALL PROJECT SCREENS AND BLOCKING TO EXPOSE ALL EXISTING WORK. REMOVE WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
6. REMOVE AND PATCH ALL EXISTING WINDOW.
7. REMOVE AND PATCH ALL EXISTING DOOR.
8. WALL MOUNTED ITEMS SUCH AS SIGNS AND BORDERS SHALL BE REMOVED AND PATCHED. ALL REMAINING ITEMS AS NOTED ON THE DRAWINGS AND DISPOSE OF.
9. REMOVE EXISTING WALL BASE WITHIN THE EXISTING WALL. REMOVE ALL EXISTING BASE AND MAKE GOOD WALLS AS REQUIRED TO REPAIR NEW BASE. REMOVE ALL EXISTING FLOORING AND MAKE GOOD FLOORING CONSTRUCTION AREA BACK TO SUBSISTANCE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLAN. REMOVE ALL EXISTING FLOORING AND MAKE GOOD FLOORING CONSTRUCTION AREA BACK TO SUBSISTANCE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLAN. REMOVE ALL EXISTING FLOORING AND MAKE GOOD FLOORING CONSTRUCTION AREA BACK TO SUBSISTANCE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLAN.
10. SEE GENERAL NOTES FOR ADDITIONAL DEMOLITION NOTES.

LEGEND - DEMOLITION

- |   |  |
|---|--|
|    | EXIST. 305mm x 305mm CEILING TILE<br>ADHERED TO EXIST. GWB CEILING<br>TO REMAIN        |
|    | EXIST. 305mm x 305mm CEILING TILE<br>ADHERED TO EXIST. GWB CEILING<br>TO BE DEMOLISHED |
|    | EXIST. SUSPENDED ACOUSTIC CEILING<br>TILE TO REMAIN<br>(610mm x 610mm)                 |
|    | (610mm x 1220mm)   |
|   | EXIST. SUSPENDED ACOUSTIC<br>CEILING TILE TO BE DEMOLISHED<br>(610mm x 610mm)          |
|  | (610mm x 1220mm)   |
|  | GYPSUM WALL BOARD CEILING TO BE<br>DEMOLISHED  |
|  | DOOR TO BE DEMOLISHED  |
|  | WALLS TO BE DEMOLISHED   |
|  | WALL TO REMAIN   |
|  | DEMOLITION NOTES   |
| <b>Room name</b><br>101   | EXISTING ROOM NAME & NUMBER  |
|  | EXISTING DIMENSION (SITE VERIFY)   |

### RESOLUTION NOTES

No.	DESCRIPTION
1A104	
1	REMOVE EXISTING CARPET FINISH AND WALL BASE. MAKE GOOD EXISTING AND PREP. FLOOR TO RECEIVE NEW FINISH
2	REMOVE EXISTING WALL COVERING FROM ALL WALLS, BLINDS AND COLUMNS. PATCH WHERE NECESSARY AND
3	MAKE GOOD TO ACCEPT NEW PART FINISH. REMOVE AND REINSTALL EXISTING WINDOW BLINDS/SHADES AS REQUIRED TO CARRY OUT WORK.
4	REMOVE EXISTING PROJECTION SCREEN AND MOUNTING BRACKETS.
5	REMOVE EXISTING DOOR AND FRAME. MAKE GOOD TO RECEIVE NEW INFILL.
6	REMOVE EXISTING COUNTERS, UPPER, LOWER CABINETS AND SINK. MAKE GOOD TO ACCEPT NEW FINISHES.
5A	THIS UPPER CABINET TO REMAIN.
7	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH, REPAIR & MAKE GOOD.
8	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH, REPAIR & MAKE GOOD.
9	MAKE GOOD.
10	SCRAPE AND REMOVE LOOSE AND PEELING PAINT. SURFACE

7	ISSUED FOR ADDENDUM 2	2026-02-06
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR F&S REVIEW	2026-01-16
4	ISSUED FOR PERMIT	2026-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% SD	2025-09-25
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)

SEAL

PROJECT TITLE:  
UNIVERSITY OF TORONTO

## Tower FOI Relocation

481 Spadina Ave

DRAWING SHEET TITLE

## LEVEL 4 DEMOLITION PLAN

DRAWN BY: RG

REVIEWED BY:

UNIVERSITY PROJECT NUMBER	NORTH POINT
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P164-25-078

DRAWING NUMBER

**A104**

REV. NUMBER

7



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1 LEVEL 7 DEMOLITION KEY PLAN  
A107 1:50

- GENERAL NOTES - DEMOLITION:
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  - FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  - DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVE TRACKS INSTALLED IN OFFICES.
  - REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  - REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  - REMOVE AND REINSTALL ALL EXISTING WINDOW.
  - CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - WALL MOUNTED ITEMS SUCH AS BULLET PROOF, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  - REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RECEIVE NEW BASE.
  - REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  - REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

LEGEND - DEMOLITION

- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO BE DEMOLISHED
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN (610mm x 610mm)
- (610mm x 1220mm)
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 610mm)
- (610mm x 1220mm)
- GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
- DOOR TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALL TO REMAIN
- DEMOLITION NOTES
- Room name 101 EXISTING ROOM NAME & NUMBER
- ± 2382 EXISTING DIMENSION (SITE VERIFY)

DEMOLITION NOTES		
No.	DESCRIPTION	
A107	EXISTING CARPET FLOORING TO REMAIN. REMOVE EXISTING WALL BASE. CARPET TO BE DEEP CLEANED. PREP. WALL FOR NEW WALL BASE.	
1	PREPARE ALL WALLS, BULKHEADS AND COLUMNS FOR NEW PAINT. PATCH WHERE NECESSARY AND MAKE GOOD TO ACCEPT NEW PAINT FINISH. REMOVE AND REINSTALL EXISTING WINDOW BLINDSHADES AS REQUIRED TO CARRY OUT WORK.	
2	EXISTING VINYL TILE FLOORING TO REMAIN. REMOVE EXIST. WALL BASE. PREP. WALL FOR NEW WALL BASE. REFER TO FLOOR FINISH PLANS.	
3	ALL EXISTING WASHROOM PARTITIONS TO REMAIN. PREP. TO RECEIVE NEW PAINT FINISH.	
4	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK. REFER TO MECH.	
5	REMOVE EXISTING COUNTERTOP. MAKE GOOD TO ACCEPT NEW COUNTERTOP.	
6	REMOVE AND REINSTALL ROOM NUMBER SIGNAGE AS REQUIRED TO REFINISH WALLS. REMOVE ANY OTHER SIGNAGE BELOW ROOM NUMBERS.	
7	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH, REPAIR & MAKE GOOD.	
8	CAREFULLY CUT AWAY EXISTING PARTITION.	
9	REMOVE OPERABLE WINDOW VENT. PREP. TO INSTALL NEW WINDOW AC UNIT AND NEW INFILL. REFER TO MECH.	
10	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER, WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPOSALS) TO REMAIN.	
11	REMOVE EXISTING WALL BASE FROM EXISTING GWB WALLS. PREP. TO RECEIVE NEW VINYL BASE.	
12		

LEGEND - FIRE SEPARATIONS:

- 60min FIRE SEPARATION

University of Toronto  
UNIVERSITY PLANNING,  
DESIGN & CONSTRUCTION

Design & Engineering

255 McCaul Street, 4th Floor, Toronto, Ontario M5T 1W7

This drawing is the property of the University of Toronto, and must be returned upon completion of the work. All information shown on this drawing is for use on the specific project. Contractor must verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

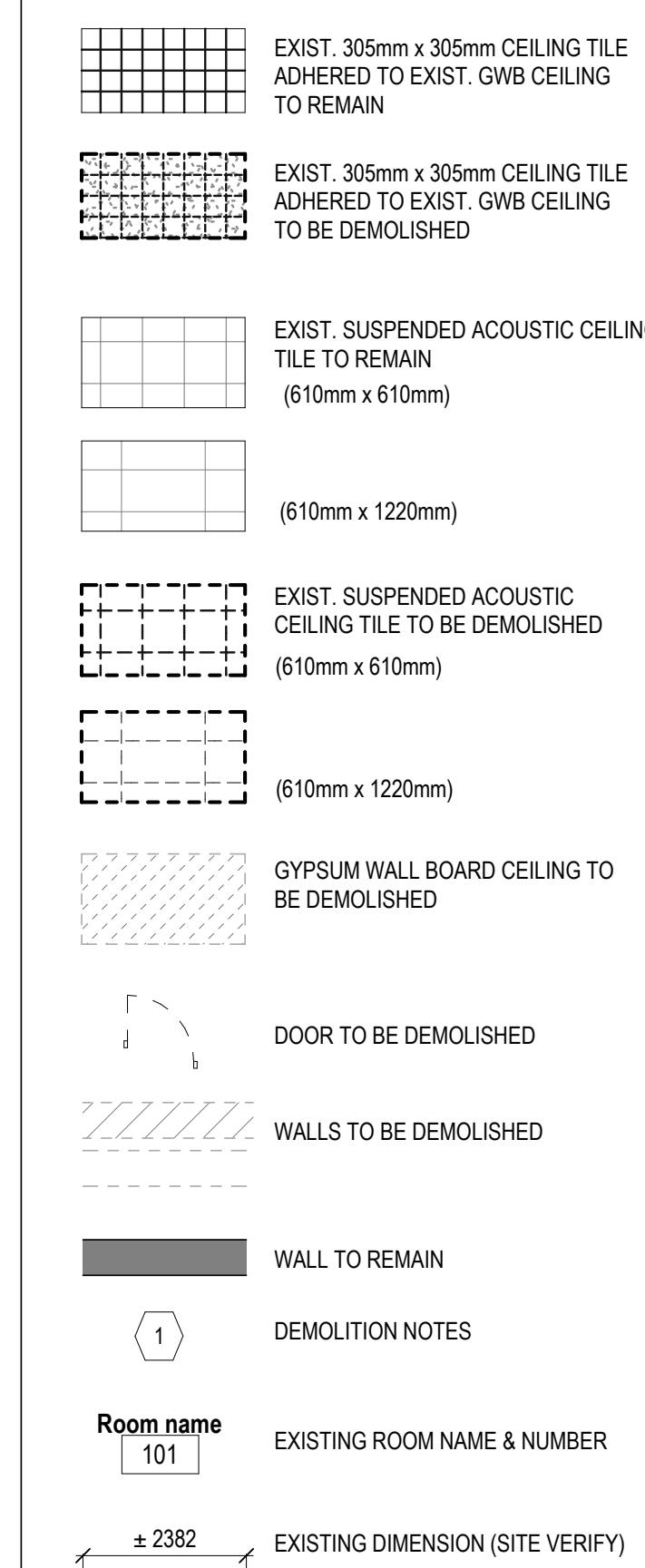
PROJECT TITLE UNIVERSITY OF TORONTO <b>Tower FOI Relocation</b>	
PROJECT TITLE 481 Spadina Ave DRAWING SHEET TITLE <b>LEVEL 7 DEMOLITION PLAN</b>	
DRAWN BY: XX REVIEWED BY: XX UNIVERSITY PROJECT NUMBER <b>P164-25-078</b>	SCALE: As indicated DATE CREATED: 25/09/02 NORTH POINT
DRAWING NUMBER <b>A107</b>	REV. NUMBER <b>7</b>





- GENERAL NOTES – DEMOLITION**
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  2. THE FOLLOWING ARE THE GENERAL PROCEDURES REQUIRED TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK AND CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL HAZARDOUS SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE HAZARDOUS MATERIALS REPORT HOWEVER BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  3. DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING SHALL BE FACED ON PUBLIC SIDE OF EXISTING WALLS TO BE REMOVED. ALL EXISTING WALLS SHALL BE DEMOLISHED AND SEPARATE THE WORK AREA FROM THE PUBLIC AREA OF THE PROJECT. THE WORK AREA SHALL BE PROTECTED BY CHAINS AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST BE MAINTAINED AT ALL TIMES WITHIN 18" PLACES FROM THAT PERMITTED BY THE O.C.A.
  4. ALL EXISTING WALLS SHALL BE DEMOLISHED TO FINISH TRACES INSTALLED IN OPENING.
  5. REMOVE ALL PROJECTOR SCREENS AND BLOCKING FROM EXISTING SCREED. REMOVE ALL WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  6. REMOVE ALL MATERIALS AND ALL EXISTING WINDOW FRAME AND REPAIR WALL SURFACES.
  7. WALL MOUNTED ITEMS SUCH AS BILLBOARD BRACKET, REFRIGERATOR, CHAIR/ARMCHAIR AND ACCESSORIES SHALL BE NOTED ON THE DRAWINGS AND DISPOSE OF.
  8. REMOVE EXISTING WALL BASE WITHIN THE EXISTING WALL SCREED. REMOVE ALL EXISTING WALL AND MAKE GOOD WALLS AS REQUIRED TO REPAIR NEW BASE. REMOVE ALL EXISTING FLOORING AND MAKE GOOD FLOORING TO CONSTRUCTION AREA ON BACK TO SUBFLOOR UNLESS NOTED OTHERWISE ON FLOOR FINISH PLAN. REMOVE ALL EXISTING DOOR AND REMOVE ALL DOOR TRIM AND MAKE GOOD NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  12. THE FOLLOWING ARE THE GENERAL PROCEDURES FOR DEMOLITION INFORMATION.

LEGEND - DEMOLITION



DEMOLITION NOTES	
No.	DESCRIPTION
A112	
1	EXISTING 305mm x 305mm CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES
2	EXISTING 610mm x 610mm SUSPENDED AC. CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
3	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES

LEGEND - FIRE SEPARATIONS:





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- GENERAL NOTES - DEMOLITION:
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  - FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  - DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT-RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  - REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  - REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  - REMOVE AND REINSTALL ALL EXISTING WINDOW.
  - CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - WALL-MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  - REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RECREATE NEW BASE.
  - REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  - REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

- LEGEND - DEMOLITION
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
  - EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO BE DEMOLISHED
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN (610mm x 610mm)
  - (610mm x 1220mm)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 610mm)
  - (610mm x 1220mm)
  - GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
  - DOOR TO BE DEMOLISHED
  - WALLS TO BE DEMOLISHED
  - WALL TO REMAIN
  - DEMOLITION NOTES
  - Room name 101 EXISTING ROOM NAME & NUMBER
  - ± 2382 EXISTING DIMENSION (SITE VERIFY)

DEMOLITION NOTES	
No.	DESCRIPTION
A113	1 EXISTING 305mm x 305mm CEILING TILE TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
	2 EXISTING GWB CEILING TO BE DEMOLISHED.
	3 CLEAN EXIST. MECH. DIFFUSERS & GRILLES. REMOVE 2 STRIPS (±400mm) OF CEILING TILE AND TOWERS.
	4 INDICATED CAREFULLY CUT ALONG THE JOINT BETWEEN EXISTING CEILING TILES.
	5 CAREFULLY REMOVE PARTITION BELOW. REPLACE ANY DAMAGED OR MISSING CEILING TILES AS REQUIRED.

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

5	ISSUED FOR ADDENDUM 2	2026-02-06
4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07
REV.	DESCRIPTION	DATE

KEY PLAN (NTS) SEAL

PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 3 DEMOLITION  
RCP**

DRAWN BY: RG SCALE: As indicated  
REVIEWED BY: EB DATE CREATED: 25/09/02  
UNIVERSITY PROJECT NUMBER / NORTH POINT

P164-25-078

DRAWING NUMBER  
**A113**  
REV. NUMBER  
**5**



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- GENERAL NOTES - DEMOLITION:
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  - FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  - DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  - REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  - REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  - REMOVE AND REINSTALL ALL EXISTING WINDOW.
  - CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - WALL MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  - REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RESUME NEW BASE.
  - REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RESUME NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  - REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

- LEGEND - DEMOLITION
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWS CEILING TO REMAIN
  - EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWS CEILING TO BE DEMOLISHED
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN (610mm x 610mm)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 610mm)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 1220mm)
  - GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
  - DOOR TO BE DEMOLISHED
  - WALLS TO BE DEMOLISHED
  - WALL TO REMAIN
  - DEMOLITION NOTES
  - Room name 101 EXISTING ROOM NAME & NUMBER
  - ± 2382 EXISTING DIMENSION (SITE VERIFY)

No.	DESCRIPTION
A114	
1	EXISTING 305mm x 305mm CEILING TILE TO REMAIN. CLEAN EXIST. GWS CEILING & GRILLES.
2	EXISTING GWS CEILING & GRILLES TO BE DEMOLISHED. CLEAN EXIST. GWS CEILING & GRILLES.
3	REMOVE 2 STRIPS (±600mm) OF CEILING TILE ALONG INDICATED CAREFULLY CUT ALONG THE JOINT BETWEEN EXISTING CEILING TILES.
4	CAREFULLY REMOVE PARTITION BELOW. REPLACE ANY DAMAGED OR MISSING CEILING TILES AS REQUIRED.

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

REV.	DESCRIPTION	DATE
5	ISSUED FOR ADDENDUM 2	2026-02-06
4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07

KEY PLAN (NTS) SEAL

PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 4 DEMOLITION  
RCP**

DRAWN BY: RG SCALE: As indicated  
REVIEWED BY: EB DATE CREATED: 25/09/02  
UNIVERSITY PROJECT NUMBER: NORTH POINT

P164-25-078

DRAWING NUMBER  
**A114**  
REV. NUMBER  
**5**



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- GENERAL NOTES - DEMOLITION:
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  - FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  - DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  - REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  - REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  - REMOVE AND REINSTALL ALL EXISTING WINDOW.
  - CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - WALL MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  - REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RESUME NEW BASE.
  - REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RESUME NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  - REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

LEGEND - DEMOLITION

EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWS CEILING TO REMAIN

EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWS CEILING TO BE DEMOLISHED

EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN (610mm x 610mm)

EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 610mm)

EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED (610mm x 1220mm)

GYPSUM WALL BOARD CEILING TO BE DEMOLISHED

DOOR TO BE DEMOLISHED

WALLS TO BE DEMOLISHED

WALL TO REMAIN

DEMOLITION NOTES

Room name 101 EXISTING ROOM NAME & NUMBER

EXISTING DIMENSION (SITE VERIFY)

DEMOLITION NOTES	
No.	DESCRIPTION
1	EXISTING 610mm x 610mm SUSPENDED ACT CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
2	EXISTING 610mm x 1220mm SUSPENDED ACT CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
3	EXISTING GWS CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
4	CAREFULLY REMOVE PARTITION BELOW. REPAIR AND MAKE GOOD DAMAGED OR MISSING CEILING TILES AS REQUIRED.

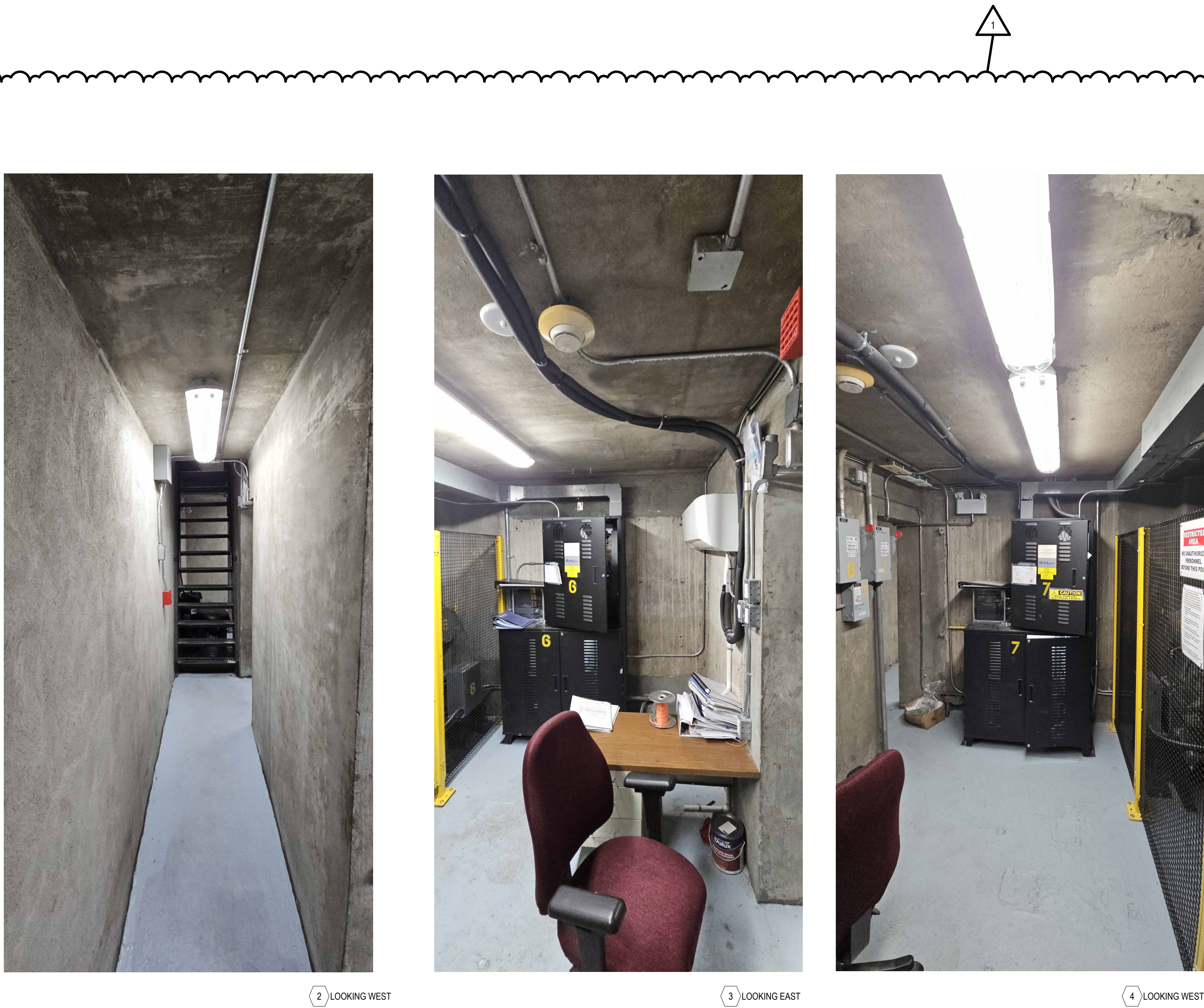
LEGEND - FIRE SEPARATIONS:

60min FIRE SEPARATION

PROJECT TITLE	UNIVERSITY OF TORONTO
DRAWING SHEET TITLE	Tower FOI Relocation
481 Spadina Ave	
LEVEL 7 DEMOLITION	
RCP	
DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT
P164-25-078	
DRAWING NUMBER	REV. NUMBER
A117	5



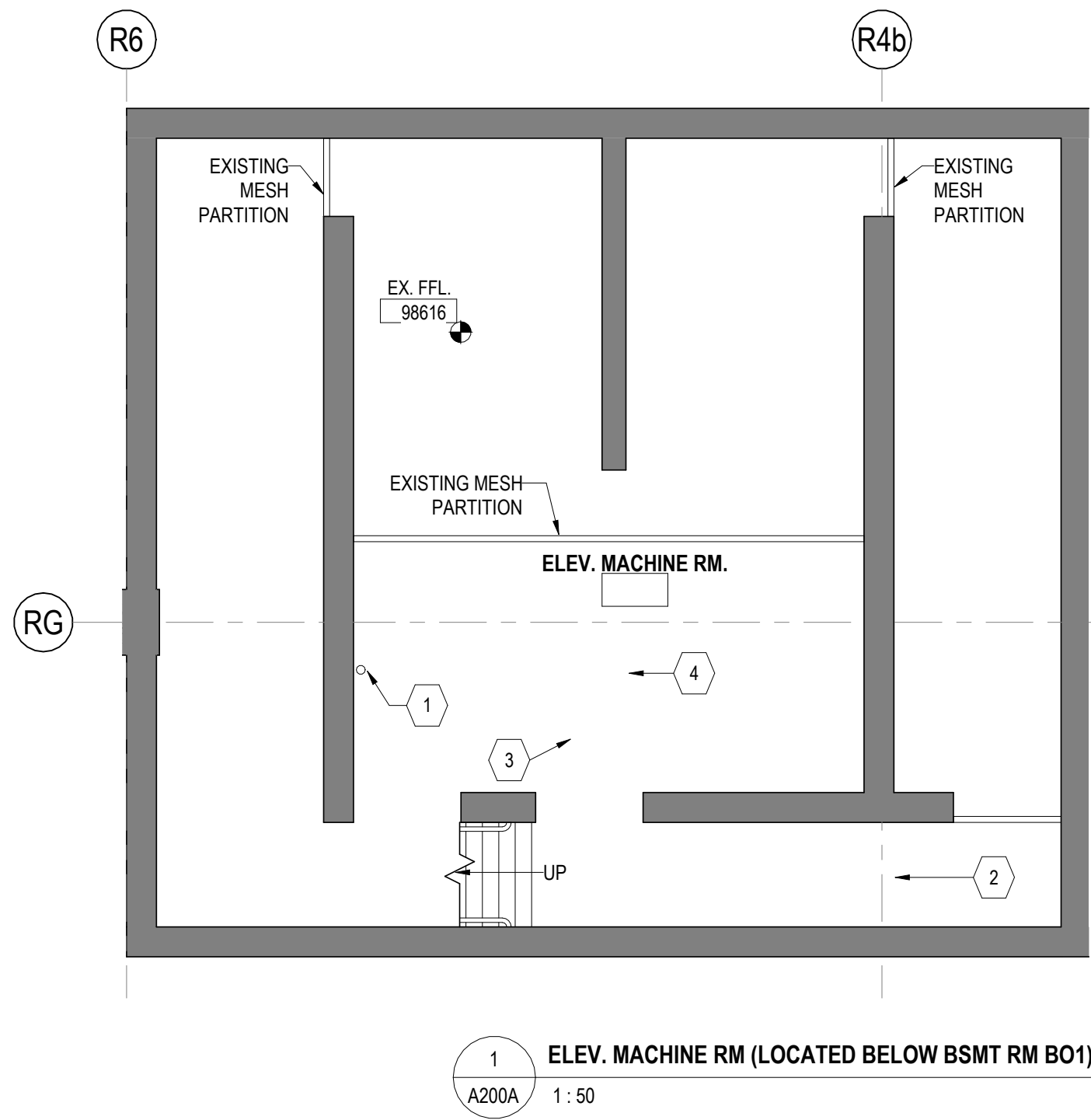
C:\Users\lgamblertu\Documents\IP164-25-078\_A\_26\_ruth\_gamble\JCDOQ.rvt2026-02-06 12:06:38 PM



2 LOOKING WEST

3 LOOKING EAST

4 LOOKING WEST



1 ELEV. MACHINE RM (LOCATED BELOW BSMT RM B01)  
A200A 1:50

DEMOLITION NOTES	
No.	DESCRIPTION
A100	
1	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC.
2	LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING
3	LOOKING WEST
4	LOOKING EAST

1	ISSUED FOR ADDENDUM 2	2026-02-06
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**ELEVATOR MACHINE RM**

DRAWN BY: RG	SCALE: 1:50
REVIEWED BY: EB	DATE CREATED: 25/09/02

UNIVERSITY PROJECT NUMBER/ NORTH POINT  
**P164-25-078**

DRAWING NUMBER <b>A200A</b>	REV. NUMBER <b>1</b>
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- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSSR)
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  3. NEW FLOOR REFER TO FLOOR FINISH PLANS
  4. NEW PAINT REFER TO PAINT PLANS
  5. REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS SHOWN
  6. CLEAN ALL CEILING DIFFUSERS AND GRILLES
  7. PENETRATIONS REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  10. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  11. ENSURE CONTINUITY OF FIRE SEPARATIONS
  12. SEE GENERAL NOTES ON DRAWING A001
  13. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES
  14. ADHERE SAGGING EXISTING 300x300mm ACOUSTIC CEILING TILES TO GWS SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.

- LEGEND - PLAN
- (1) → CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - (P1) → WALL TAG (PH= PARTIAL HEIGHT WALL)
  - (222) → DOOR TAG
  - (222) → SCREEN TAG
  - (240mm) → FIRE RATING TAG
  - (STC) → SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A200	
1	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING
2	NEW PENETRATIONS THROUGH WALL TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING
3	NEW PENETRATIONS THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

No.	DESCRIPTION	DATE
2	ISSUED FOR ADDENDUM 2	2026-02-06
1	ISSUED FOR TENDER	2026-01-21
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**BASEMENT NEW  
CONSTRUCTION PLAN**

DRAWN BY: Author  
REVIEWED BY: Checker  
UNIVERSITY PROJECT NUMBER: NORTH POINT

P164-25-078

DRAWING NUMBER  
**A200B**

REV. NUMBER  
**2**



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- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSSR)
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  3. NEW FLOOR REFER TO FLOOR FINISH PLANS
  4. NEW PAINT REFER TO PAINT PLANS
  5. REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS SHOWN ON WINDOW SCHEDULE
  6. CLEAN ALL CEILING DIFFUSERS AND GRILLES
  7. PENETRATIONS: REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  10. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  11. ENSURE CONTINUITY OF FIRE SEPARATIONS
  12. SEE GENERAL NOTES ON DRAWING A001
  13. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES
  14. ADHERE SAGGING EXISTING 300x300mm ACOUSTIC CEILING TILES TO GWS SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.

- LEGEND - PLAN
- 1 - CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - P1 - WALL TAG (PH-PARTIAL HEIGHT WALL)
  - 222 - DOOR TAG
  - 222 - SCREEN TAG
  - 240mm - FIRE RATING TAG
  - (STC) - SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A201	
1	NEW WALL MOUNTED AC UNIT. LOCATE BELOW EXISTING UNIT ON EXTERIOR WALL. REFER TO MECH & ELEC
2	NEW PENETRATION THROUGH 2ND FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING
3	NEW SALTO HOTSPOT. REFER TO ELEC.
4	NEW CARD READER. REFER TO ELEC.
5	REMOVE EXISTING INTERCOM PATCH HOLES WITH SEALANT
6	NEW PENETRATION THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING. ROOM HAS ELECTROSTATIC FLOORING. ENSURE SYSTEM PERFORMANCE IS NOT COMPROMISED
7	CORE WALL FOR NEW CONDUIT AND ADD SEALANT.

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

This drawing is the property of the University of Toronto, and must be returned upon completion of the work. All information shown on this drawing is for use on this specific project. Contractor must verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

No.	DESCRIPTION	DATE
4	ISSUED FOR ADDENDUM 2	2026-02-06
3	ISSUED FOR TENDER	2026-01-21
2	ISSUED FOR F&S REVIEW	2026-01-16
1	ISSUED FOR PERMIT	2026-01-14
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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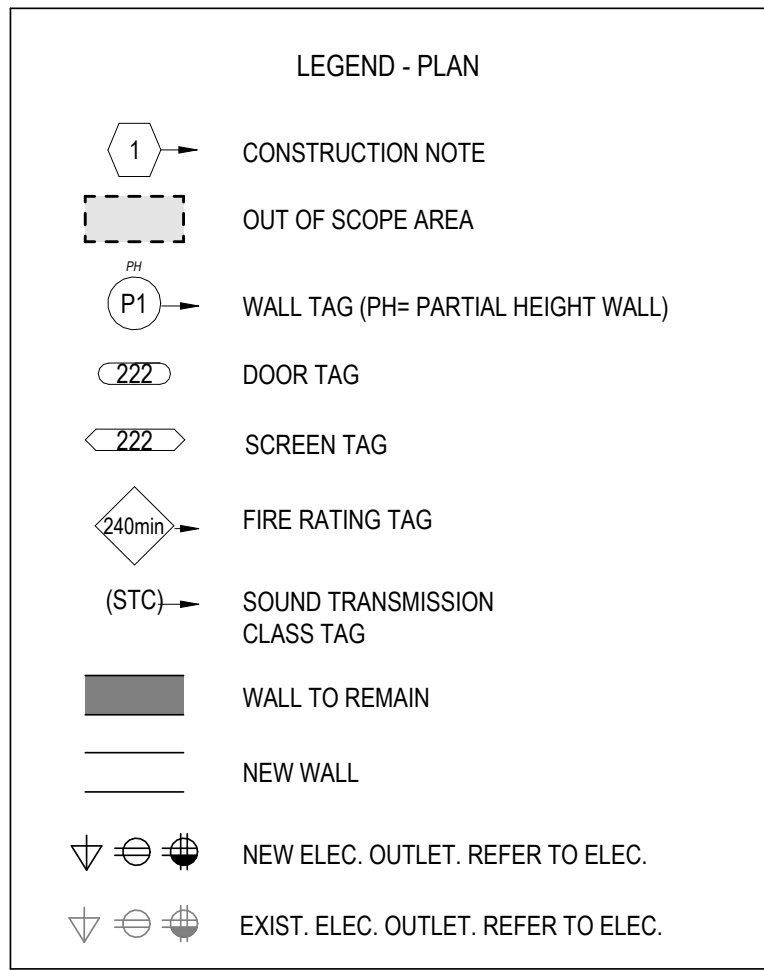
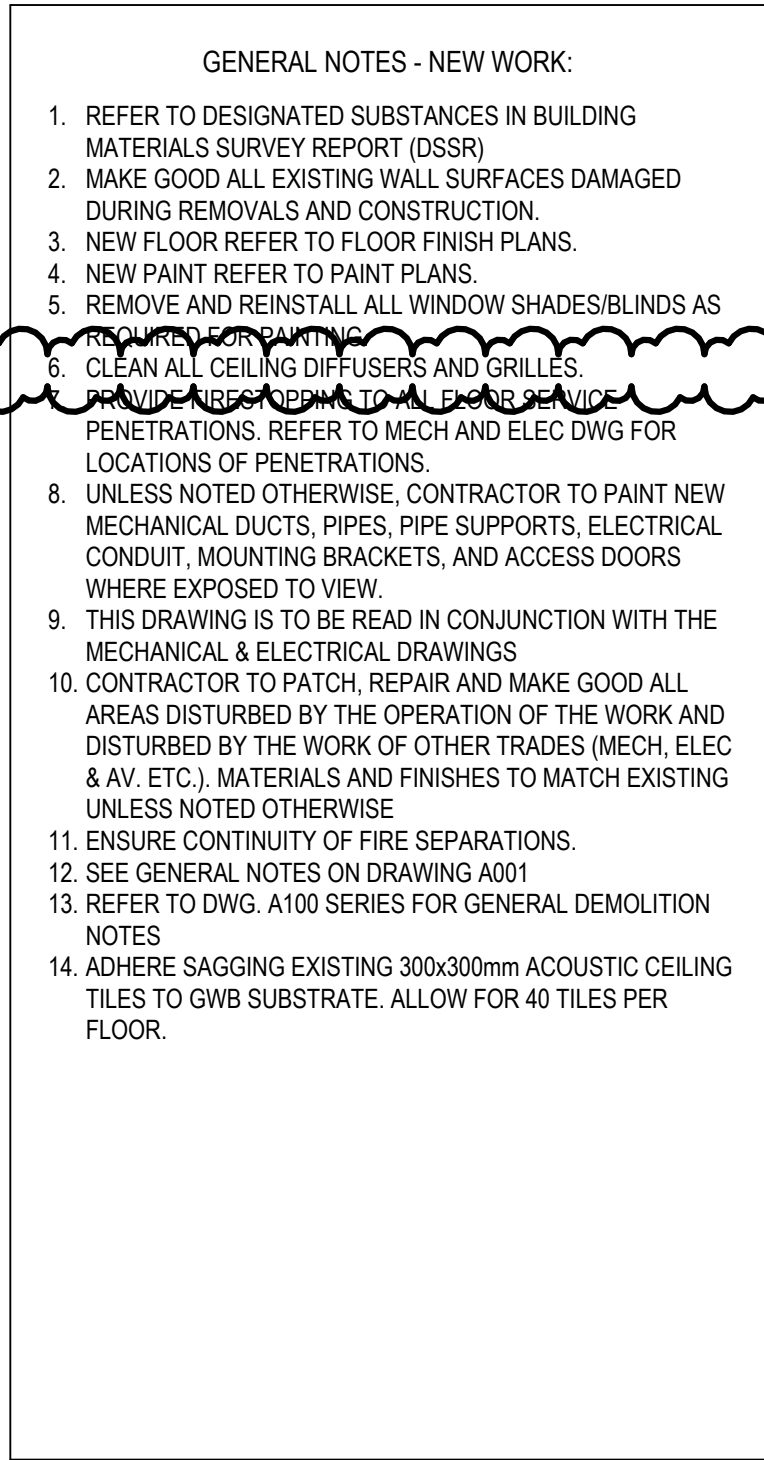
PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 1 NEW  
CONSTRUCTION PLAN**

DRAWN BY: Author  
REVIEWED BY: Checker  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A201**  
REV. NUMBER  
**4**





CONSTRUCTION NOTES	
NO	DESCRIPTION
1	EXISTING DOOR TO RECEIVE NEW SATO ACCESS CONTROL. REFER TO DOOR SCHEDULE.
2	PROVIDE NEW DOOR, FRAME AND HARDWARE. DOOR TO RECEIVE SATO TO REFER TO DOOR SCHEDULE.
3	NEW WALL AT REMOVED SCREEN. NEW OPENING FOR NEW DOOR.
4	NEW INFL. WHERE DOOR REMOVED.
5	NEW INFL.
6	NEW AFFECTION TO US OF EXISTING CEILING
7	FASTEN TOP TRACK TO EXISTING T-BAR GRID. PROVIDE SHIMS ABOVE TOP TRACK TO PREVENT EXISTING CEILING TILES FROM FALLING. PROVIDE 1/2" X 1/2" X 1/2" GASKETS AT T-BAR WALL ABOVE FOR ACOUSTIC SEPARATION. PROVIDE 2" X 1/2" X 1/2" GASKETS TO CEILING.
8	TRIM HARDWARE TO REFER TO ELEC. SCHEDULE.
9	PATCH, REPAIR AND MAKE GOOD GWS PORTION OF GUARD PANEL FINISH. COLOUR TO MATCH WALLS. INSTALL NEW VINYL PLANK FLOORING TO REFER TO ELEC. SCHEDULE.
10	EXISTING COUNTERTOP, LOWER AND UPRU CABINETS TO REMAIN.
11	NEW PENETRATIONS THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRSTSTOP.
12	NEW PENETRATIONS THROUGH EXISTING WALLS FOR NEW MECH & ELEC. REFER TO MECH & ELEC. SEAL OPENING, TYP. NEW PENETRATIONS THROUGH WALL ABOVE CEILING TO RUN ELEC. REFER TO ELEC. PROVIDE FIRSTSTOP.
13	NEW PENETRATIONS THROUGH WALL FOR NEW MECH & ELEC. REFER TO MECH & ELEC. SEAL OPENING, TYP.
14	NEW PENETRATIONS THROUGH WALL FOR NEW MECH & ELEC. REFER TO MECH & ELEC. SEAL OPENING, TYP.
15	NEW WALL-MOUNTED AC UNIT. REFER TO MECH & ELEC. SCHEDULE.
16	NEW WINDOW AC UNIT, AND INST. WINDOW INFL. AT LOW LEVEL. REFER TO ELEC.
17	RUN ELEC. FROM ABOVE CEILING, VERTICALLY DOWN ALONG WALL TO DISPENSER. PROVIDE RECEPTACLE COMB. UNIT, TYP. TO POWER DISPENSER, SANITARY NAKN DISPOSALS. (S) TO REMAIN.
18	PROVIDE NEW VINYL BASE AROUND RECEPTION DESK.

7	ISSUED FOR ADDENDUM 2	2026-02-06
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR F&S REVIEW	2026-01-16
4	ISSUED FOR PERMIT	2026-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% SD	2025-09-25
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 2 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

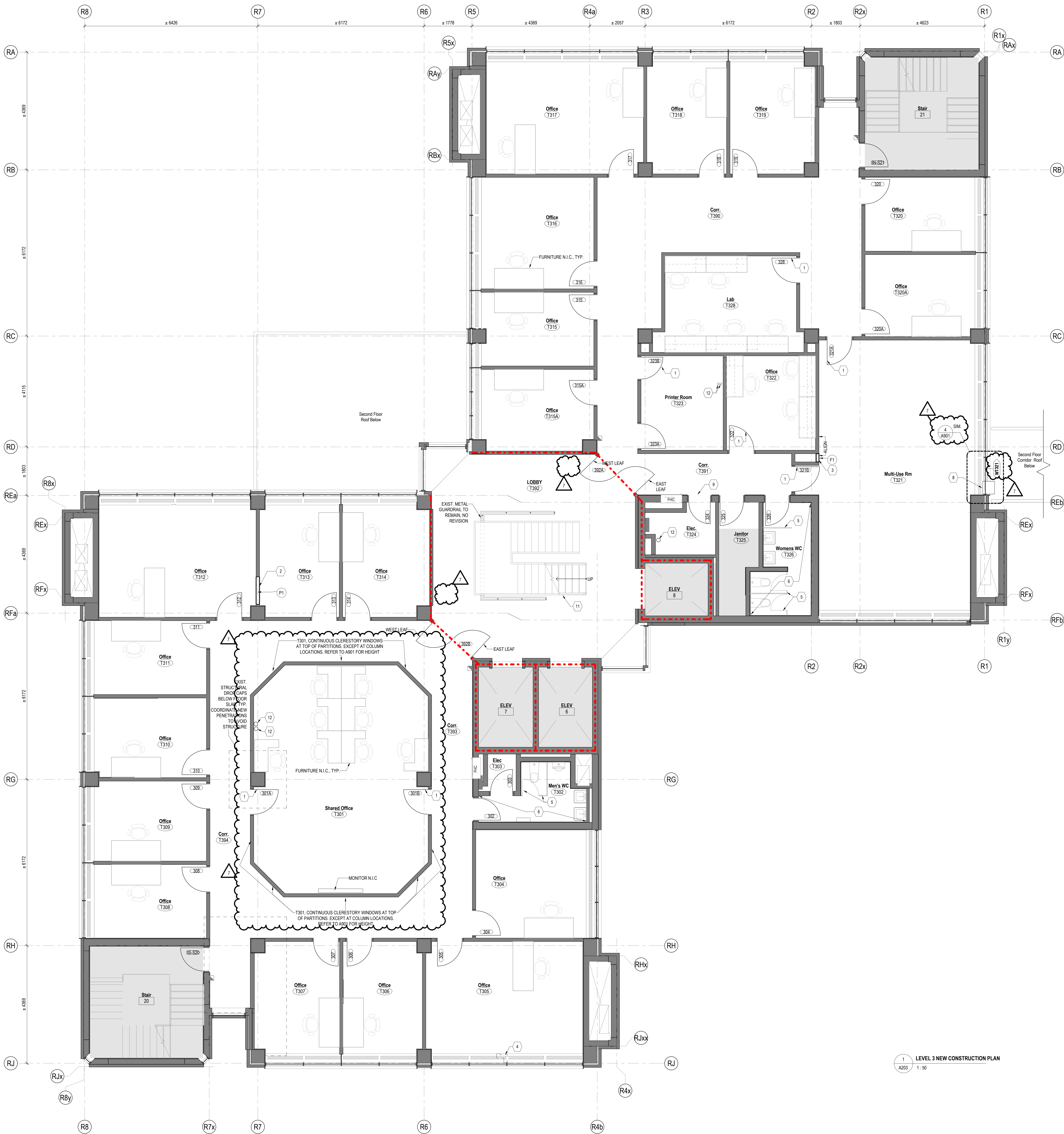
DRAWING NUMBER	REV. NUMBER
<b>A202</b>	<b>7</b>

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1 LEVEL 3 NEW CONSTRUCTION PLAN  
A203 1:50

- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (B35R)
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  3. NEW FLOOR REFER TO FLOOR FINISH PLANS
  4. NEW PAINT REFER TO PAINT PLANS
  5. REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS SHOWN
  6. CLEAN ALL CEILING DIFFUSERS AND GRILLES
  7. PENETRATIONS: REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  10. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  11. ENSURE CONTINUITY OF FIRE SEPARATIONS
  12. SEE GENERAL NOTES ON DRAWING A201
  13. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES
  14. ADHERE SAGGING EXISTING 300x300mm ACOUSTIC CEILING TILES TO GWB SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.

- LEGEND - PLAN
- 1 CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - P1 WALL TAG (PH= PARTIAL HEIGHT WALL)
  - DOOR TAG
  - SCREEN TAG
  - FIRE RATING TAG
  - SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES		
No.	DESCRIPTION	
A203		
1	EXISTING DOOR TO RECEIVE NEW SALTO ACCESS CONTROL. REFER TO DOOR SCHEDULE	
2	NEW INFILL WHERE DOOR REMOVED	
3	NEW PARTITION TO US OF EXISTING CEILING	
4	WHERE GWB PARTITION REMOVED AT THE WINDOW/SILL, FILL ALL RESULTING HOLES WITH SEALANT. SEALANT COLOUR TO MATCH THE EXISTING WINDOW SILL COLOUR.	
5	PAIN ALL EXISTING WASHROOM PARTITIONS AND DOORS	
6	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY WIPER DISPENSERS) AND FIXTURES TO REMAIN	
8	NEW WINDOW AC UNIT. INSTALL WINDOW INFILL. REFER TO MECH	
9	NEW PENETRATIONS THROUGH WALL ABOVE DOOR. TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING	
11	PATCH, REPAIR AND MAKE GOOD GWB PORTION OF GUARD AS REQUIRED. PAINT FINISH, COLOUR TO MATCH WALLS. INSTALL NEW VINYL BASEBOARD	
12	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRE STOPPING	

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

REV.	DESCRIPTION	DATE
7	ISSUED FOR ADDENDUM 2	2026-02-06
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2025-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BD	2025-09-23

KEY PLAN (NTS)	
	SEAL

PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

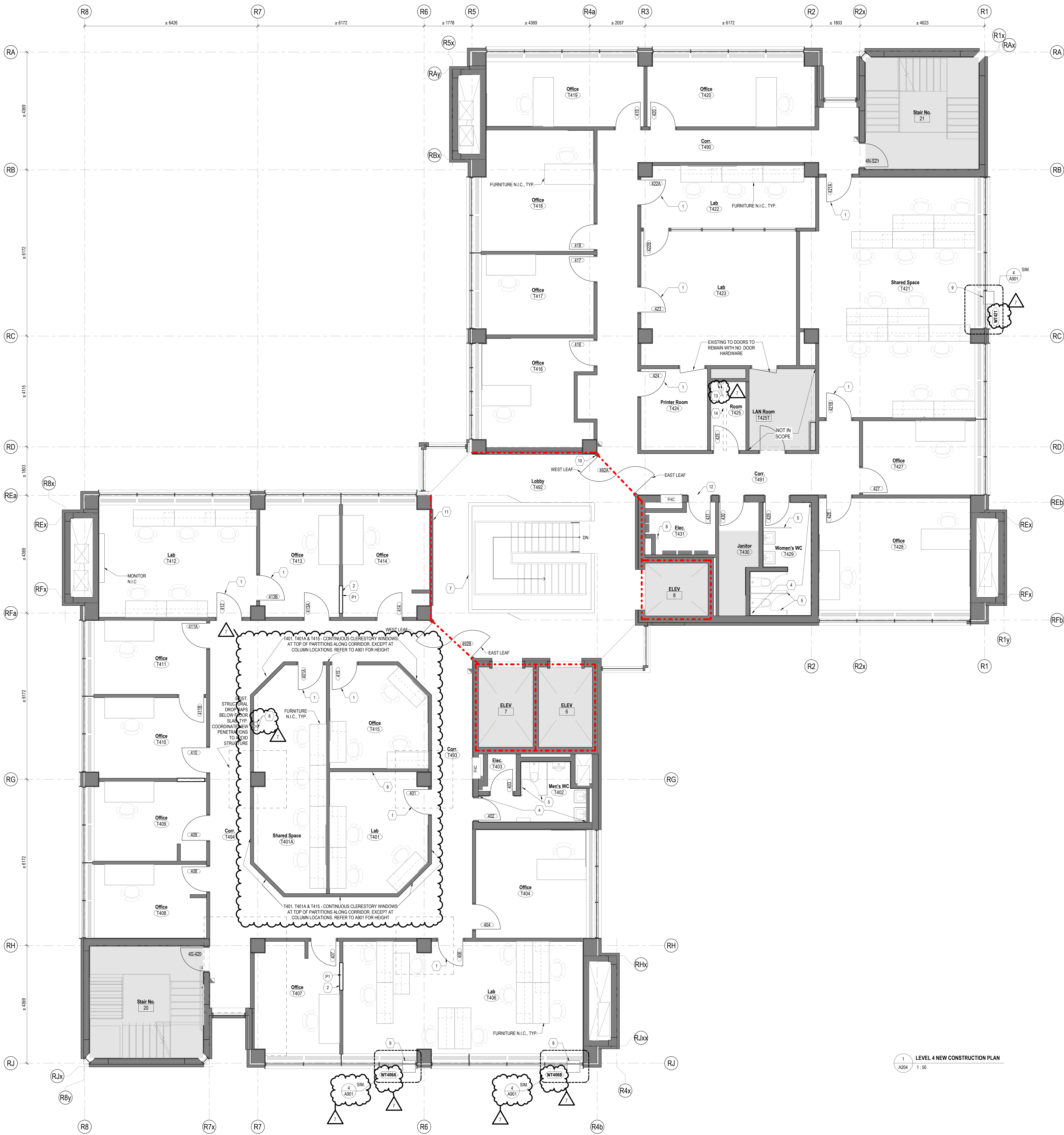
481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 3 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A203**  
REV. NUMBER  
**7**



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1 LEVEL 4 NEW CONSTRUCTION PLAN  
A204 1:50

- GENERAL NOTES - NEW WORK:
- REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (B30R).
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - NEW FLOOR REFER TO FLOOR FINISH PLANS.
  - NEW PAINT REFER TO PAINT PLANS.
  - REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  - PENETRATIONS: REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS.
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - ENSURE CONTINUITY OF FIRE SEPARATIONS.
  - SEE GENERAL NOTES ON DRAWING A201.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.
  - ADHERE SAGGING EXISTING 300x300mm ACOUSTIC CEILING TILES TO GWS SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.

- LEGEND - PLAN
- (1) CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - (P1) WALL TAG (PH-PARTIAL HEIGHT WALL)
  - (222) DOOR TAG
  - (222) SCREEN TAG
  - (2400) FIRE RATING TAG
  - (STC) SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A204	
1	EXISTING DOOR TO RECEIVE NEW SALTO ACCESS CONTROL. REFER TO DOOR SCHEDULE.
2	NEW INFILL WHERE DOOR REMOVED.
4	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER, WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPOSALS) AND FIXTURES TO REMAIN.
5	PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS.
6	PROVIDE OUTLETS AT DESK HEIGHT. REFER TO ELEC.
7	PATCH, REPAIR AND MAKE GOOD GWS PORTION OF GUARD AS REQUIRED. PAINT FINISH COLOUR TO MATCH WALLS. INSTALL NEW VINYL BASEBOARD.
8	NEW PENETRATIONS THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
9	NEW WINDOW AC UNIT. REFER TO MECH.
10	NEW PENETRATIONS THROUGH WALL ABOVE DOOR, TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
11	NEW PENETRATIONS THROUGH WALL TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
12	NEW PENETRATIONS THROUGH WALL ABOVE CEILING, TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
13	NEW PENETRATION THROUGH FLOOR SLAB FOR ELEC. ENSURE NEW PENETRATION IS LOCATED WITHIN THE CEILING SPACE OF ROOM T323 BELOW. REFER TO ELEC. PROVIDE FIRE STOPPING.
14	DASHED LINE INDICATES LOCATION OF EXISTING PARTITION BELOW.

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

7	ISSUED FOR ADDENDUM 2	2026-02-06
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2026-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BB	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 4 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A204**  
REV. NUMBER  
**7**



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- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSSR)
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  3. NEW FLOOR REFER TO FLOOR FINISH PLANS
  4. NEW PAINT REFER TO PAINT PLANS
  5. REMOVE AND REPAIR ALL WINDOW SASHES/BLINDS AS NOTED
  6. CLEAN ALL CEILING DIFFUSERS AND GRILLES
  7. PENETRATIONS: REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  10. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  11. ENSURE CONTINUITY OF FIRE SEPARATIONS
  12. SEE GENERAL NOTES ON DRAWING A001
  13. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES
  14. ADHERE SAGGING EXISTING 300x300mm ACOUSTIC CEILING TILES TO GWS SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.

- LEGEND - PLAN
- 1. CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - P1. WALL TAG (PH= PARTIAL HEIGHT WALL)
  - 222. DOOR TAG
  - 222. SCREEN TAG
  - 240(R). FIRE RATING TAG
  - (STC). SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
1	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

1 LEVEL 6 NEW KEY PLAN  
A206 1:50

NO ARCHITECTURAL SCOPE AT LEVEL 6.  
REFER TO ELEC.

REV.	DESCRIPTION	DATE
7	ISSUED FOR ADDENDUM 2	2026-02-06
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2025-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23

KEY PLAN (NTS)	SEAL
----------------	------

PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 6 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER/NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A206**  
REV. NUMBER  
**7**



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- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSSR)
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  3. NEW FLOOR REFER TO FLOOR FINISH PLANS
  4. NEW PAINT REFER TO PAINT PLANS
  5. REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS NOTED
  6. CLEAN ALL CEILING DIFFUSERS AND GRILLES
  7. CLEAN ALL CEILING DIFFUSERS AND GRILLES
  8. PENETRATIONS: REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  9. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  10. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  11. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  12. ENSURE CONTINUITY OF FIRE SEPARATIONS
  13. SEE GENERAL NOTES ON DRAWING A001
  14. ADHERE TO EXISTING 300x300mm ACOUSTIC CEILING TILES TO GWS SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR

- LEGEND - PLAN
- (1) CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - (P1) WALL TAG (PH= PARTIAL HEIGHT WALL)
  - (222) DOOR TAG
  - (222) SCREEN TAG
  - (2400) FIRE RATING TAG
  - (STC) SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A207	
1	EXISTING DOOR TO RECEIVE NEW SAL TO ACCESS CONTROL. REFER TO DOOR SCHEDULE
2	PROVIDE POWER POLE. REFER TO ELEC.
3	PROVIDE NEW COUNTER
4	PROVIDE NEW SINK. REFER TO MECH.
5	FASTEN EXISTING WASHROOM PARTITION TO WALL WITH NEW ANCHOR/FASTENER
6	NEW WINDOW AC UNIT. INSTALL WINDOW INFILL. REFER TO MECH.
7	NEW PENETRATION THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING
8	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPOSALS) AND FIXTURES TO REMAIN
9	NEW PENETRATION IN WALL ABOVE CEILING. TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING

7	ISSUED FOR ADDENDUM 2	2026-02-06
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2026-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 7 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A207**  
REV. NUMBER  
**7**

1  
A207  
LEVEL 7 NEW CONSTRUCTION PLAN  
1: 50

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION



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CONSTRUCTION NOTES	
No.	DESCRIPTION
A220	
1	REMOVE PORTION OF EXISTING CEILING AS REQUIRED TO ACCESS DUCT ABOVE FOR AIR AUDIT. INSTALL 610mm x 610mm ACCESS PANEL IN CEILING AFTER MECH. WORK COMPLETE. REFER TO MECHANICAL.
2	REMOVE AND RELOCATE EXISTING LIGHT FIXTURE AS REQUIRED FOR MECH. WORK AND INSTALLATION OF ACCESS PANEL. LOCATION TO BE DETERMINED ON SITE.
3	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING.

1	ISSUED FOR ADDENDUM 2	2026-02-06
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
----------------	------

PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**BASEMENT NEW RCP**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER / NORTH POINT	

P164-25-078

DRAWING NUMBER	REV. NUMBER
<b>A220</b>	<b>1</b>



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CONSTRUCTION NOTES	
No.	DESCRIPTION
A221	
1	REMOVE PORTION OF EXISTING CEILING AS REQUIRED TO ACCESS DUCT ABOVE FOR AIR AUDIT. INSTALL 610mm x 610mm ACCESS PANEL IN CEILING AFTER MECH. WORK COMPLETE. REFER TO MECHANICAL.
2	REMOVE AND RELOCATE EXISTING LIGHT FIXTURE AS REQUIRED FOR MECH. WORK AND INSTALLATION OF ACCESS PANEL. LOCATION TO BE DETERMINED ON SITE.
3	REMOVE AND REINSTALL EXISTING LIGHT FIXTURES AS REQUIRED TO ACCESS DUCT ABOVE FOR AIR AUDIT. REFER TO MECHANICAL.
4	NEW PENETRATION THROUGH 2ND FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING.

1	ISSUED FOR ADDENDUM 2	2026-02-06
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 1 NEW RCP**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER / NORTH POINT	

P164-25-078

DRAWING NUMBER <b>A221</b>	REV. NUMBER <b>1</b>
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1 LEVEL 2 - RCP  
A222 1:50

- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (BSR).
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  3. NEW FLOOR REFERS TO FLOOR FINISH PLANS.
  4. NEW PAINT REFER TO PAINT PLANS.
  5. REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS SHOWN ON DRAWING.
  6. CLEAN ALL CEILING DIFFUSERS AND GRILLES.
  7. REMOVE AND REINSTALL EXISTING WALLS AND PARTITIONS. PENETRATIONS, REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS.
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS.
  10. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  11. ENSURE CONTINUITY OF FIRE SEPARATIONS.
  12. SEE GENERAL NOTES ON DRAWING A001.
  13. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION.
  14. REMOVE EXISTING CEILING AND REINSTALL NEW CEILING TILES TO GWB SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.

- LEGEND - REFLECTED CEILING PLAN
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
  - NEW CEILING TYPE C1 (TO MATCH EXIST.)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN (610mm x 610mm)
  - (610mm x 1220mm)
  - NEW GWB CEILING
  - EXIST. GWB CEILING
  - ACCESS PANEL
  - LIGHT FIXTURE: SEE ELEC. DWGS.
  - OCCUPANCY SENSOR: SEE ELEC. DWGS.
  - WIRELESS ACCESS POINT: SEE ELEC. DWGS.
  - SMOKE ALARM: SEE ELEC. DWGS.
  - FIRE ALARM: SEE ELEC. DWGS.
  - EXIT SIGN: SEE ELEC. DWGS.
  - SPRINKLER HEAD: SEE MECH. DWGS.
  - MECH. DIFFUSER: SEE MECH. DWGS.

CONSTRUCTION NOTES		
No.	DESCRIPTION	
A222		
1	EXISTING 305mm x 305mm CEILING AND LIGHT FIXTURES TO REMAIN. PAINT GWB BULKHEADS. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.	
2	EXISTING 610mm x 610mm SUSPENDED ACT CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. REPLACE ANY BROKEN TILES AS REQUIRED. REFER TO CEILING TYPE C5.	
3	REMOVE EXISTING CEILING AND REINSTALL NEW CEILING TILES TO GWB SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.	
4	REMOVE EXISTING CEILING AND REINSTALL NEW CEILING TILES TO GWB SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.	
5	REMOVE EXISTING CEILING AND REINSTALL NEW CEILING TILES TO GWB SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.	
6	REMOVE EXISTING CEILING AND REINSTALL NEW CEILING TILES TO GWB SUBSTRATE. ALLOW FOR 40 TILES PER FLOOR.	
7	NEW PARTITION BELOW TO US OF EXISTING CEILING	
8	REMOVE AND REINSTALL EXISTING LIGHT FIXTURES AS REQUIRED TO ACCESS DUCT ABOVE FOR AIR AUDIT. REFER TO MECHANICAL.	
9	REMOVE PORTION OF EXISTING CEILING AS REQUIRED TO ACCESS DUCT ABOVE FOR AIR AUDIT. INSTALL 610mm x 610mm ACCESS PANEL IN CEILING AFTER MECH. WORK COMPLETE. REFER TO MECHANICAL.	
10		

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

REV.	DESCRIPTION	DATE
5	ISSUED FOR ADDENDUM 2	2026-02-06
4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07

KEY PLAN (NTS) SEAL

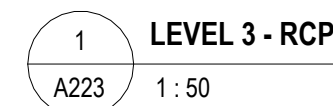
PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

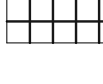
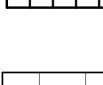
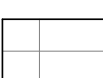


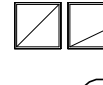









481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 2 NEW RCP**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A222**  
REV. NUMBER  
**5**





- LEGEND - REFLECTED CEILING PLAN**
- |   |   |
|---|---|
|    | EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN |
|    | NEW CEILING TYPE C1 (TO MATCH EXIST.)                                     |
|    | EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN<br>(610mm x 610mm)       |
|    | (610mm x 1220mm)  |
|    | NEW GWB CEILING   |
|    | EXIST. GWB CEILING  |
|    | ACCESS PANEL  |
|  | LIGHT FIXTURE. SEE ELEC. DWGS.  |
|  | OCCUPANCY SENSOR. SEE ELEC. DWGS.   |
|  | WIRELESS ACCESS POINT. SEE ELEC. DWGS.                                    |
|  | SMOKE ALARM. SEE ELEC. DWGS.  |
|  | FIRE ALARM. SEE ELEC. DWGS.   |
|  | EXIT SIGN. SEE ELEC. DWGS.  |
|  | SPRINKLER HEAD. SEE MECH. DWGS.   |
|  | MECH. DIFFUSER. SEE MECH. DWGS.   |

LEGEND - FIRE SEPARATIONS:

60min FIRE SEPARATION

KEY PLAN (NTS)	SEA
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481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 3 NEW RCP**

DRAWING NUMBER	REV. NUMBER
<b>A223</b>	<b>5</b>











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CONSTRUCTION NOTES	
No.	DESCRIPTION
1	REMOVE AND REINSTALL EXISTING LIGHT FIXTURES AS REQUIRED TO ACCESS DUCT ABOVE FOR AIR AUDIT. REFER TO MECHANICAL.

LEGEND - FIRE SEPARATIONS:  
----- 60min FIRE SEPARATION

REVISIONS		
No.	DESCRIPTION	DATE
1	ISSUED FOR ADDENDUM 2	2026-02-06

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

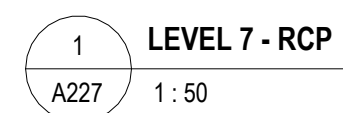
481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 6 RCP**
















DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER / NORTH POINT	

P164-25-078

DRAWING NUMBER	REV. NUMBER
<b>A226</b>	<b>1</b>





- | LEGEND - REFLECTED CEILING PLAN   |   |
|---|---|
|    | EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN |
|    | NEW CEILING TYPE C1 (TO MATCH EXIST.)                                     |
|    | EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN<br>(610mm x 610mm)       |
|    | (610mm x 1220mm)  |
|    | NEW GWB CEILING   |
|    | EXIST. GWB CEILING  |
|    | ACCESS PANEL  |
|  | LIGHT FIXTURE. SEE ELEC. DWGS.  |
|  | OCCUPANCY SENSOR. SEE ELEC. DWGS.   |
|  | WIRELESS ACCESS POINT. SEE ELEC. DWGS.                                    |
|  | SMOKE ALARM. SEE ELEC. DWGS.  |
|  | FIRE ALARM. SEE ELEC. DWGS.   |
|  | EXIT SIGN. SEE ELEC. DWGS.  |
|  | SPRINKLER HEAD. SEE MECH. DWGS.   |
|  | MECH. DIFFUSER. SEE MECH. DWGS.   |

CONSTRUCTION NOTES	
No.	DESCRIPTION
A/27	
1	EXISTING 90mm x 610mm SUSPENDED ACCT CEILING AND LUG FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. REPLACE ANY BROKEN TILES AS REQUIRED. REFER TO CEILING TYPE 24.
2	EXISTING 90mm x 1220mm SUSPENDED ACCT CEILING AND LUG FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSER & GRILLES. REPLACE ANY BROKEN TILES AS REQUIRED. REFER TO CEILING TYPE 24.
3	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. PAINT GWB CEILING AND GWB BULKHEADS. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
4	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. PAINT GWB CEILING AND GWB BULKHEADS. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
5	PROVIDE OF ROW NEW CEILING TILES IN EXISTING CEILING TO CEILING TYPE 24. PROVIDE PARTITION REMOVED.
6	REMOVE ALL MATERIAL BELOW IS REMOVED. PLUG ANY RESULTING SCREW HOLES IN THE EXISTING T-BAR WITH PLASTIC CAPS.

- |   |   |
|---|---|
| 1 | EXISTING 610mm x 810mm SUSPENDED ACET CEILING AND LG FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. REPLACE ANY BROKEN TILES AS REQUIRED. REFER TO CEILING TYPE C3.  |
| 2 | EXISTING 610mm x 1220mm SUSPENDED ACET CEILING AND LG FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. REPLACE ANY BROKEN TILES AS REQUIRED. REFER TO CEILING TYPE C4. |
| 3 | EXISTING GWB CEILING AND LGT FIXTURES TO REMAIN. PLUG CEILING AND GWB BULKHEADS. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.  |
| 4 | EXISTING REVERSE SLAT BLADES IN EXISTING TYP. PROVIDE 6 ROW NEW CEILING TILES. PARTITION REMOVED.   |
| 5 | PROVIDE FILING TYPE C4.   |
| 6 | WHERE EASTING PARTITION BEING REMOVED, PLUG ANY RESULTING SCREW HOLES IN THE EXISTING T-BAR WITH PLASTIC CAPS.  |

5	ISSUED FOR ADDENDUM 2	2026-02-06
4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR DD	2025-11-07
REV	DESCRIPTION	DATE

MEM. PL. AL. (ATCO)	CEAI
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 7 NEW RCP**

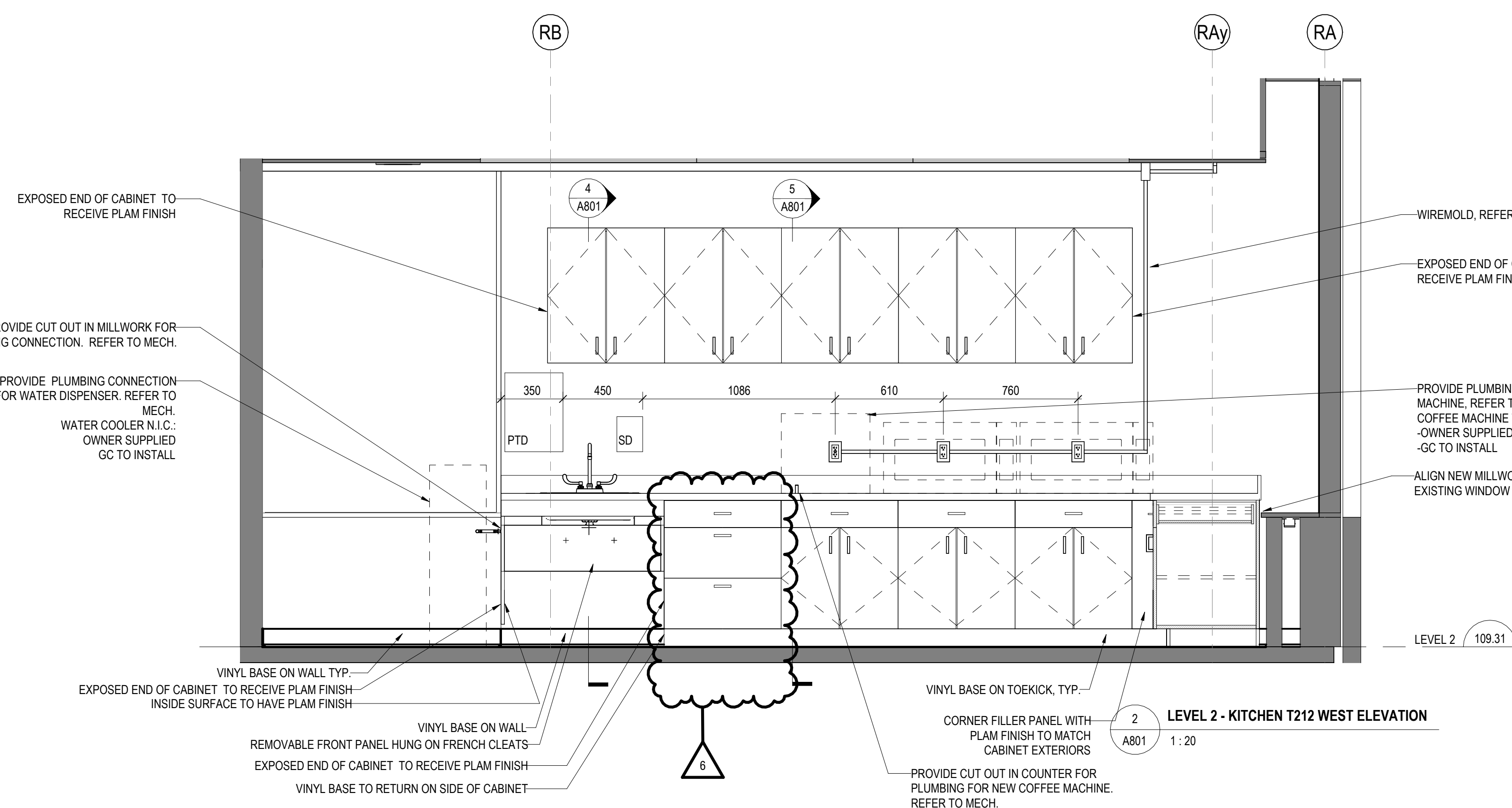
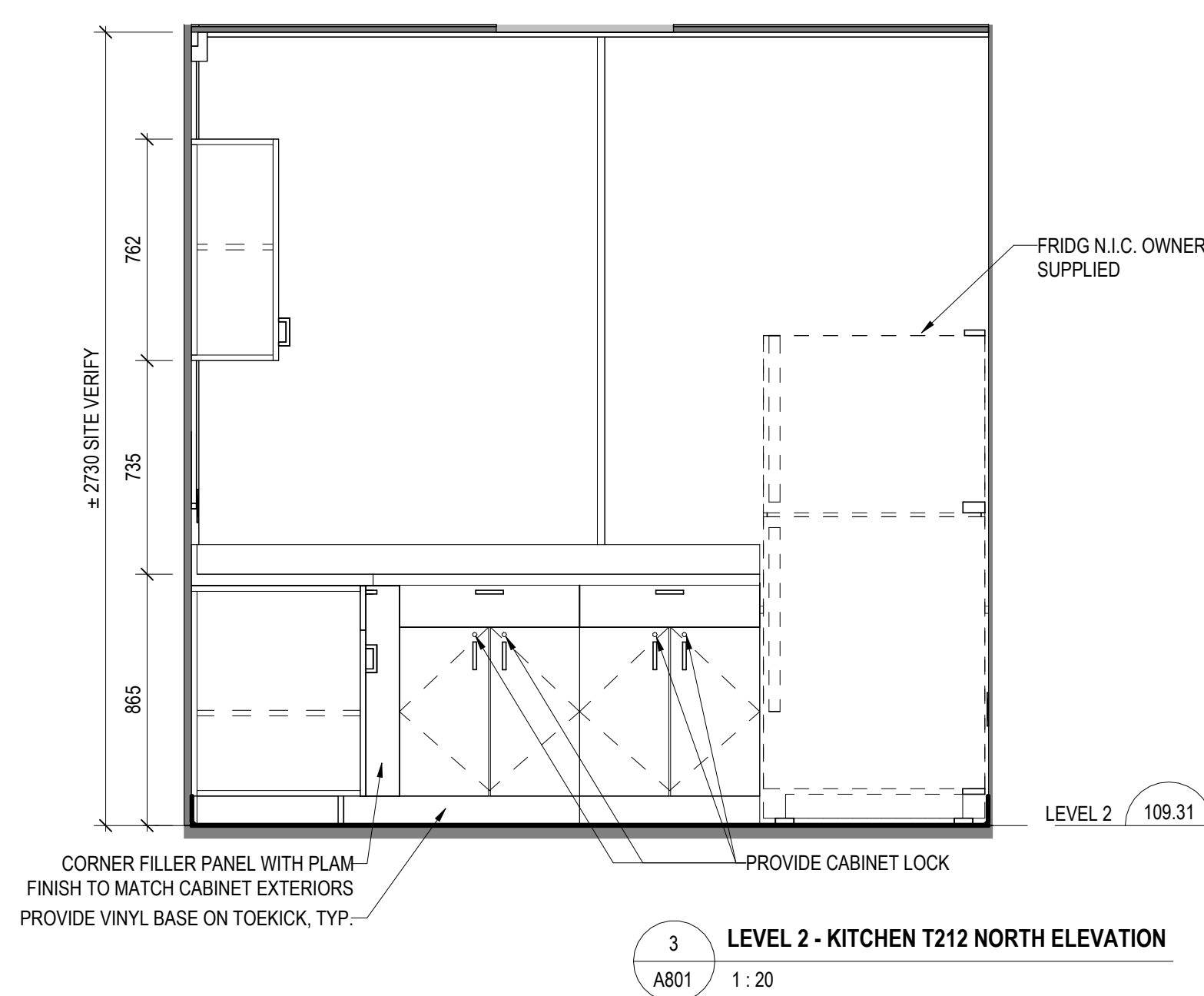
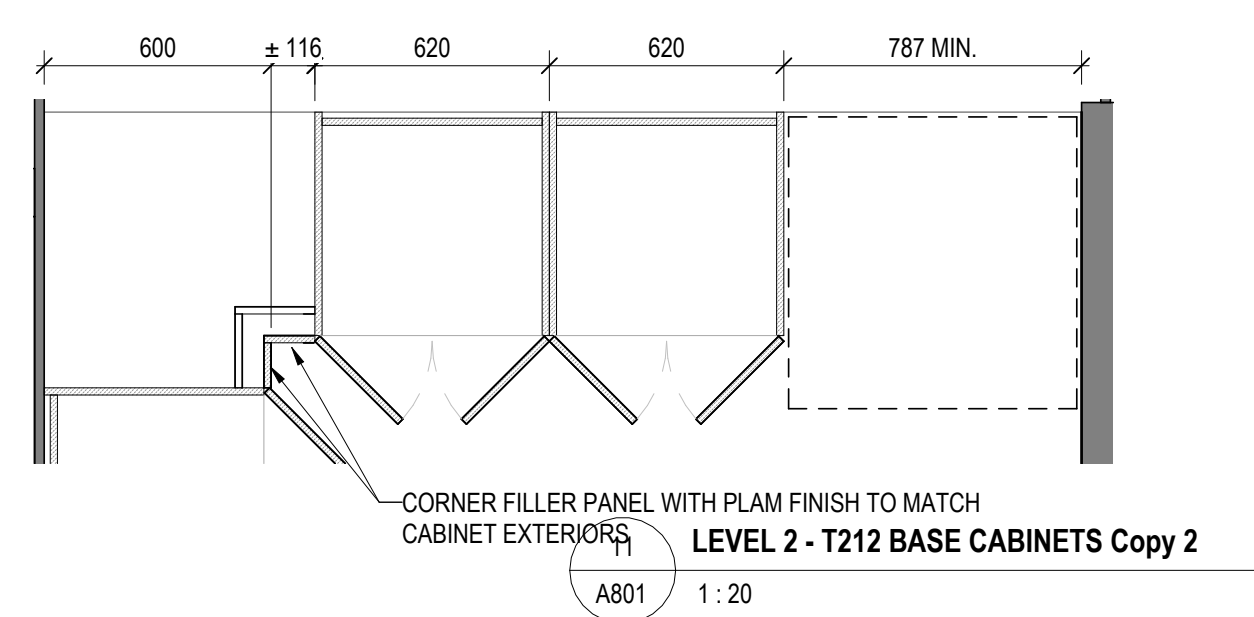
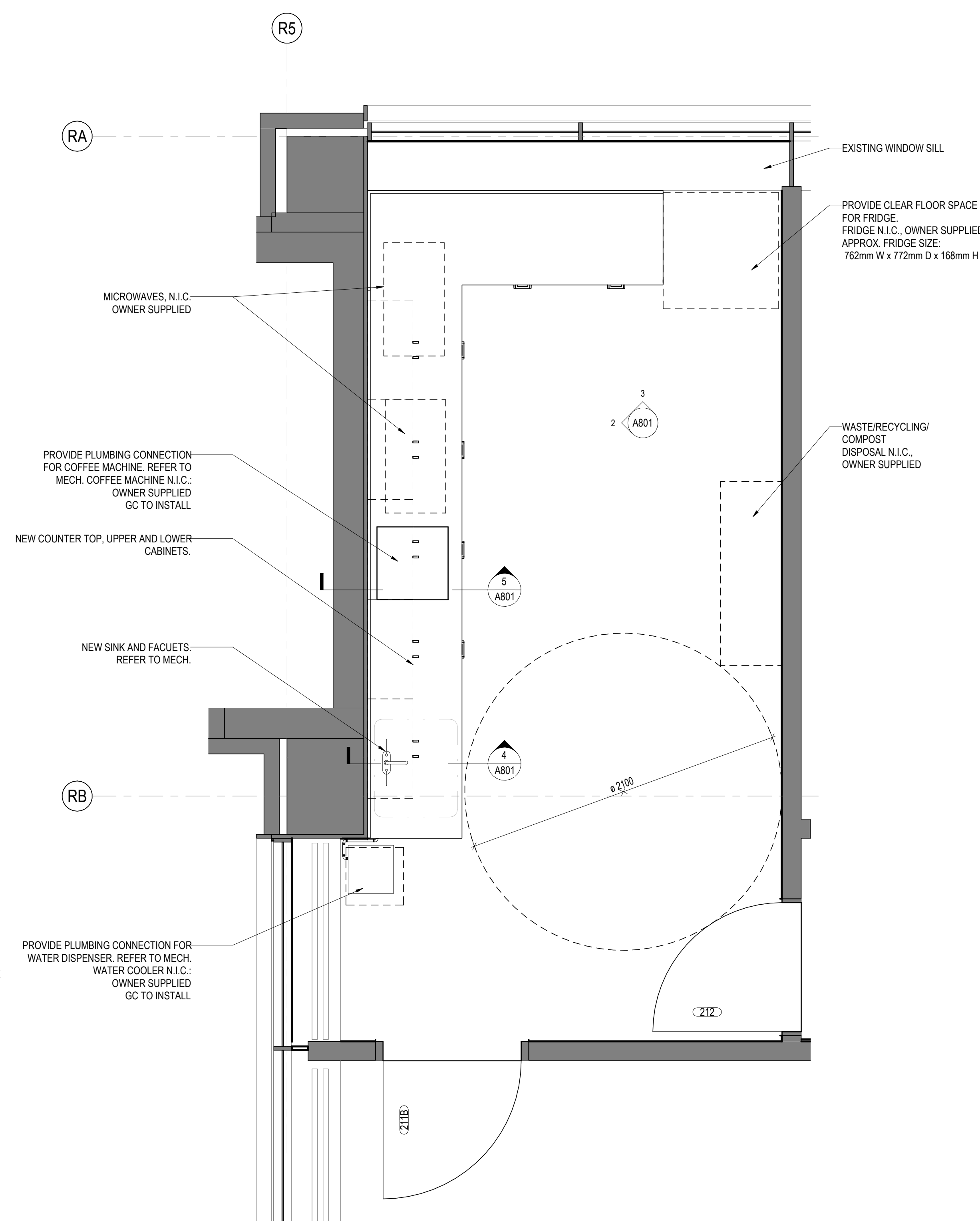
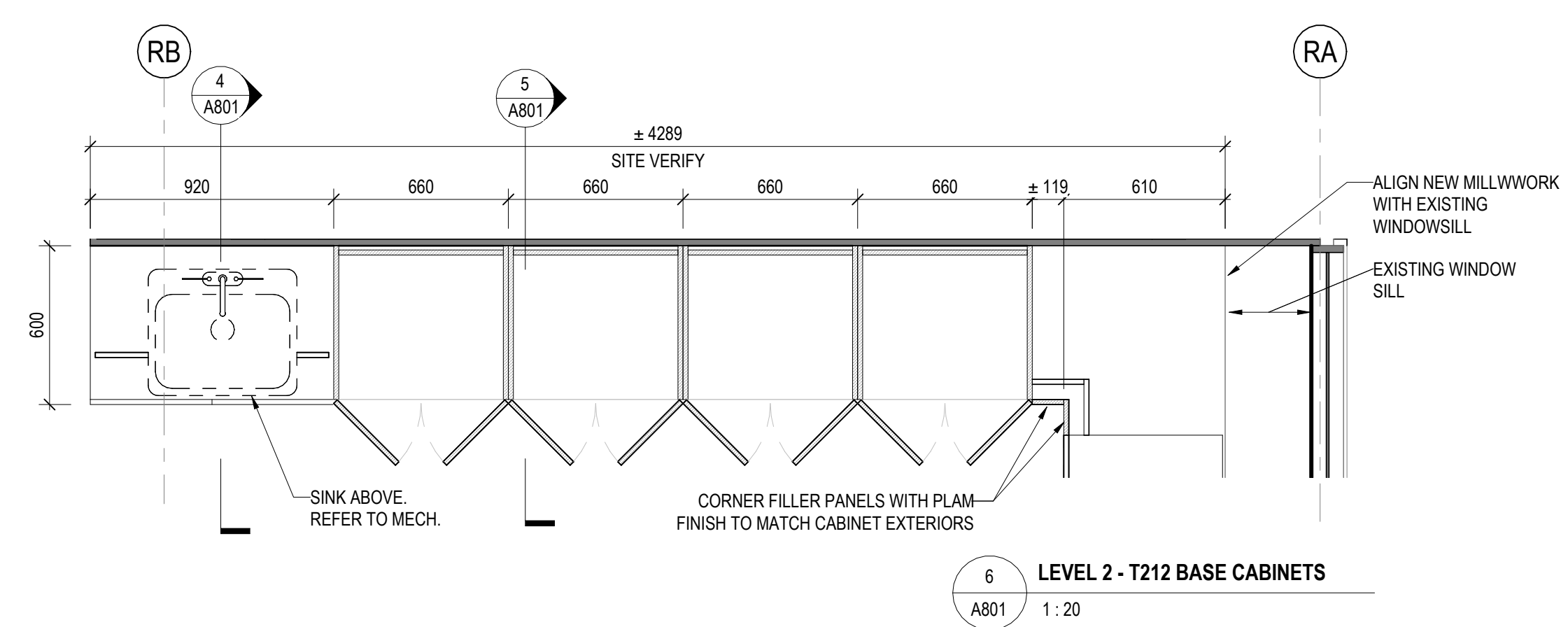
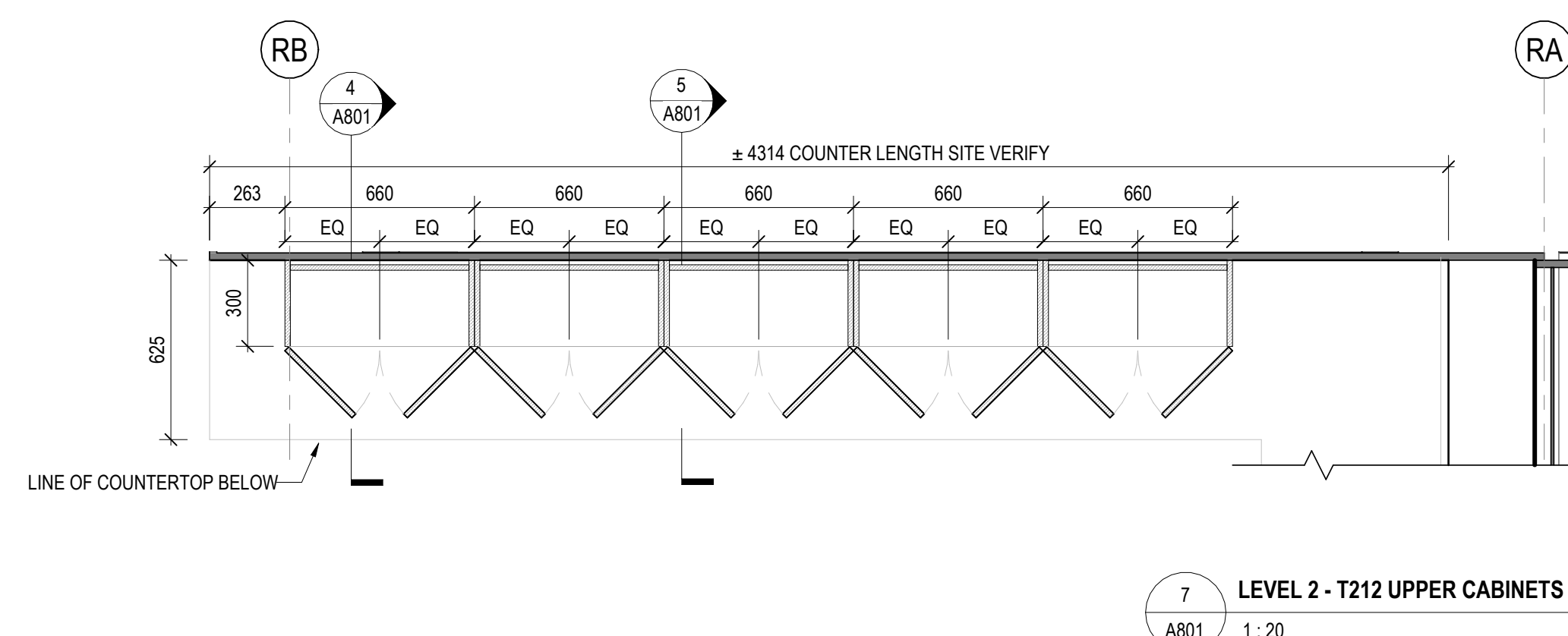
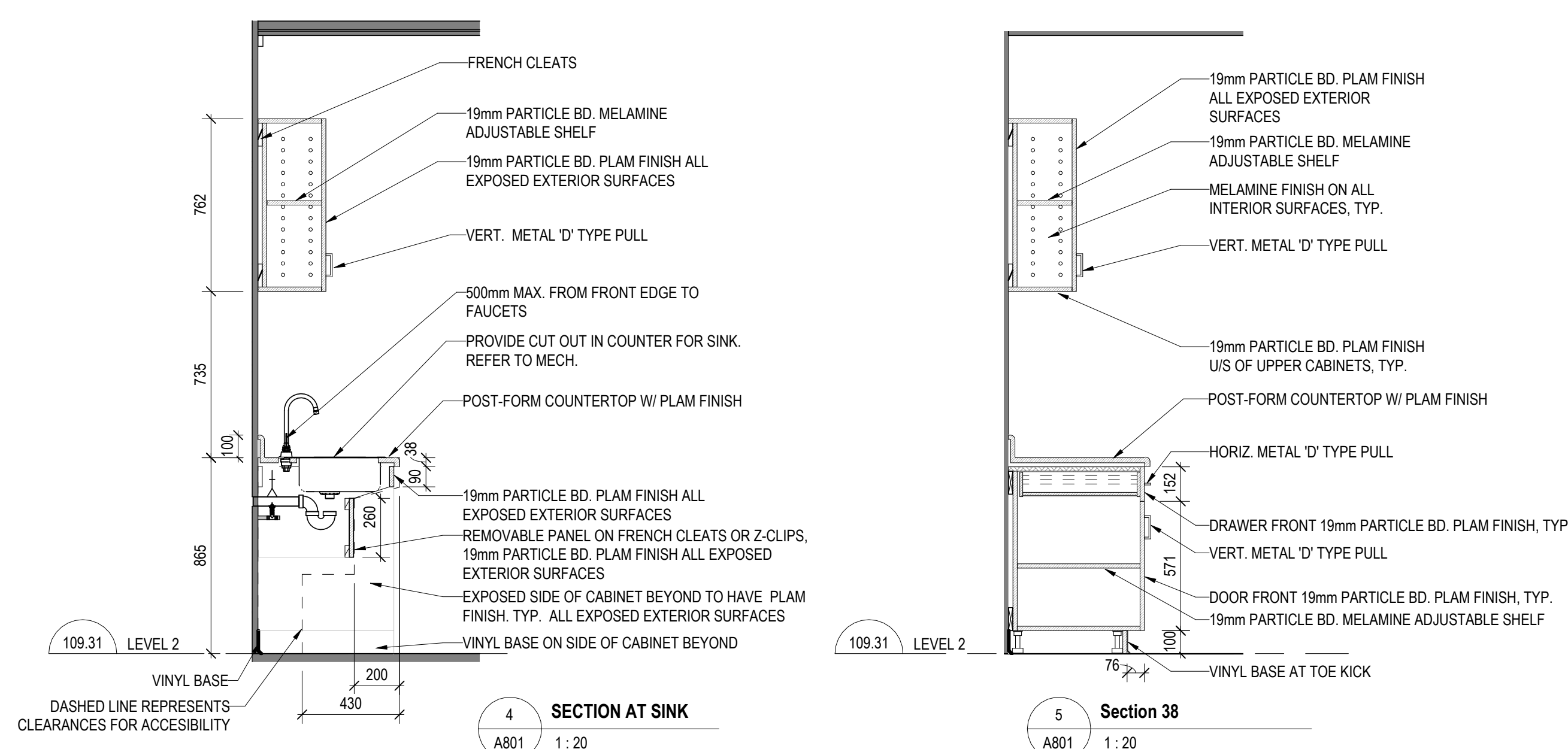
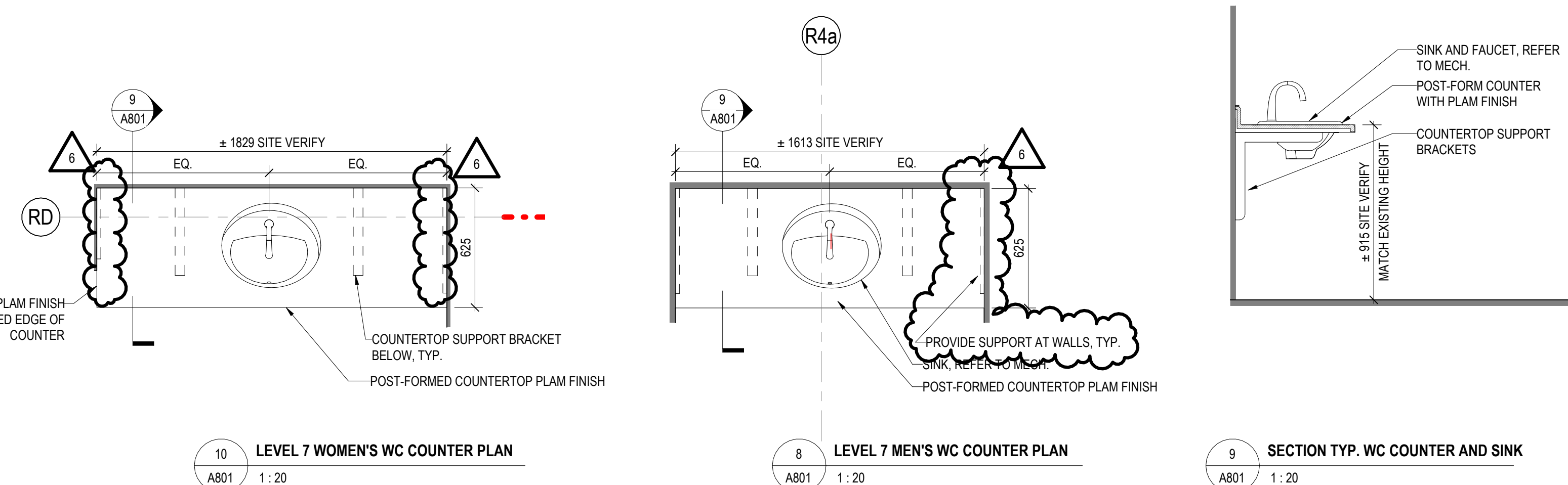
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REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

DRAWING NUMBER	REV. NUMBER
<b>A227</b>	<b>5</b>

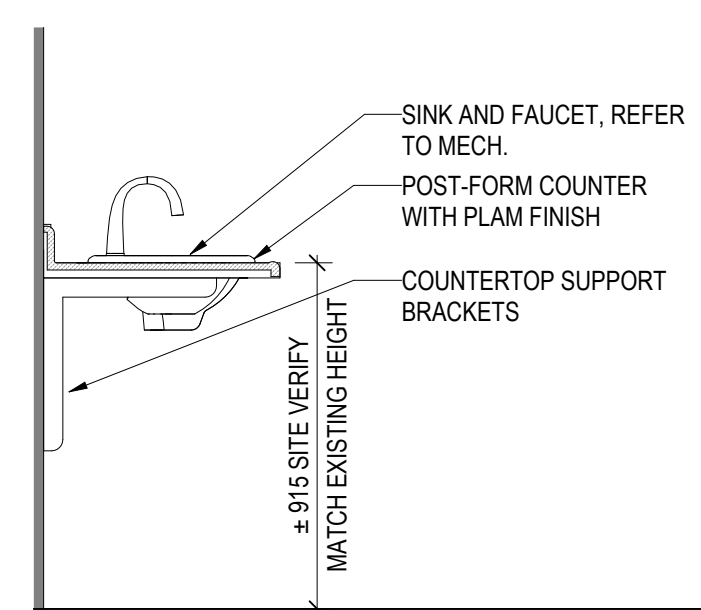
2026-02-06 12:07:04 PM C:\Users\qambleru\Documents\P164-25-078 A 26 ruth.gamble@JCDQ.nyf



This drawing is the property of the University of Toronto, and must be returned upon completion of the work. All information shown on this drawing is for use on this specific project. Contractor must verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.



- GENERAL NOTES - MILLWORK:
1. FOR HARDWARE, REFER TO SPECIFICATIONS
  2. FOR LOCKS, SEE ELEVATIONS.
  3. FOR DOOR PULLS, SEE ELEVATIONS.
  4. FOR FINISHES, SEE ELEVATIONS. REFER TO SPECIFICATIONS.



6	ISSUED FOR ADDENDUM 2	2026-02-06
5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR F&S REVIEW	2026-01-16
3	ISSUED FOR PERMIT	2026-01-14
2	ISSUED FOR DD	2025-11-07
1	ISSUED FOR CLIENT REVIEW	2025-10-31
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave

DRAWING SHEET TITLE

## MILLWORK DETAILS

DRAWN BY: Author

REVIEWED BY: Check

UNIVERSITY PROJECT NUMBER NORTH POINT

P164-25-078

DRAWING NUMBER  
**A801**

REV. NUMBER  
**6**



